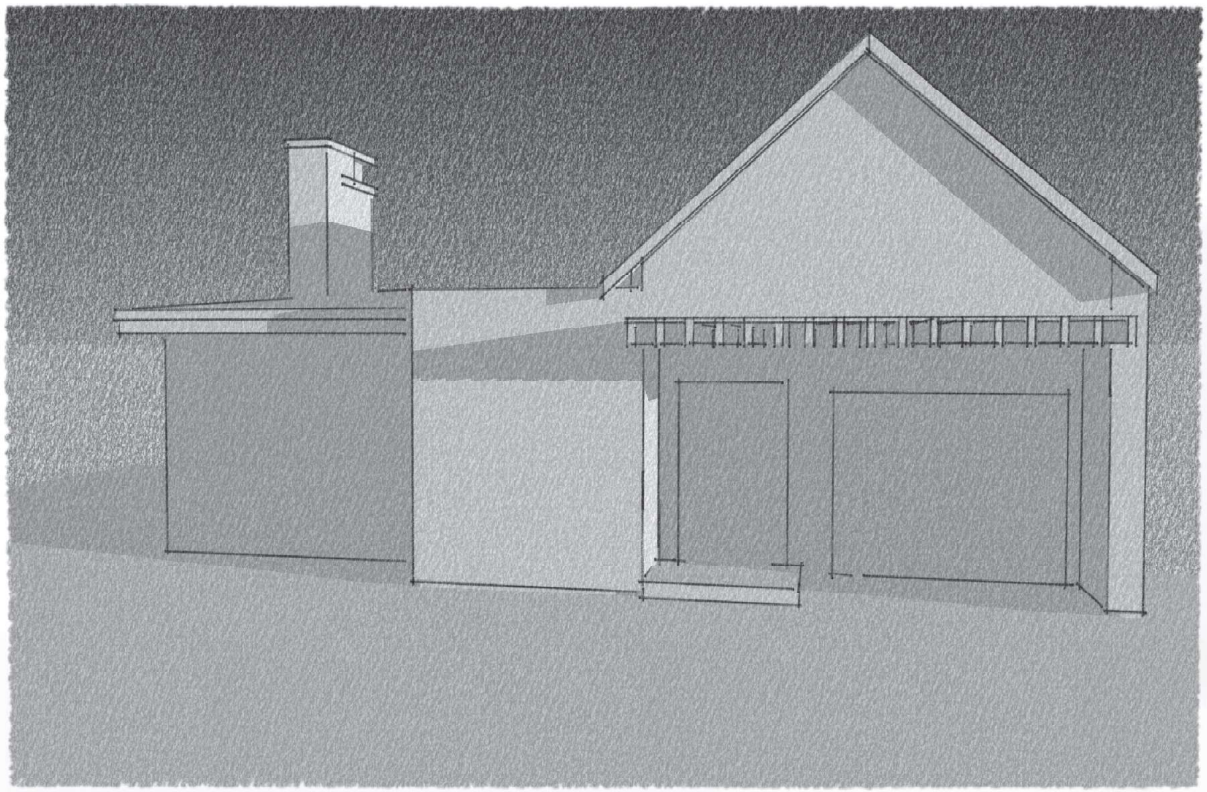
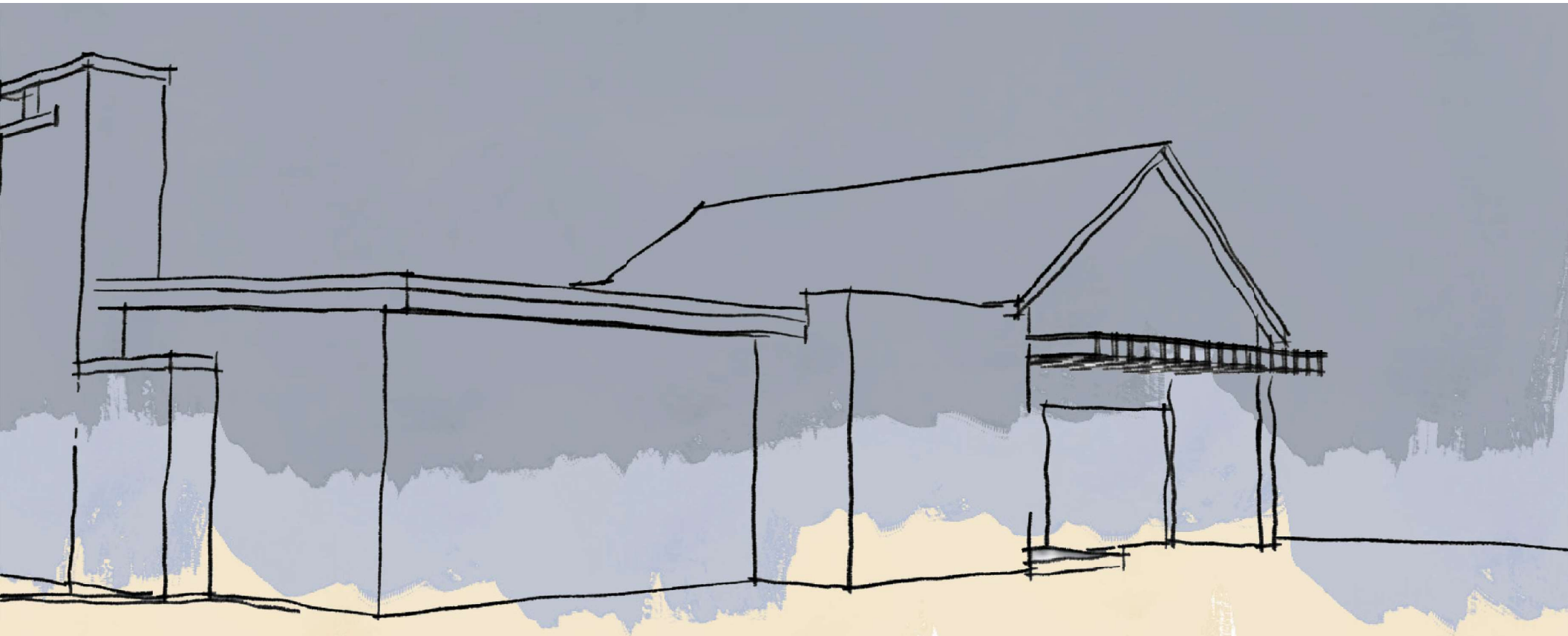


VELVAERE

Eagle Construction - 2024 NAHB
Student Residental Construction Competition



Prepared For:

NAHB Student Residental Construction Competition
Associate Program
International Builders' Show - Las Vegas, NV
February 26th-28th, 2024

Prepared By:

Kirkwood Community College, Cedar Rapids, IA
Architectural Technologies, Construction Management, and Interior Design AAS Students

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About Us

Eagle Construction was founded in the September of 2019 to represent **Kirkwood Community College** in NAHB Student Competitions. The proposal for the **2024 NAHB Student Competition** is a collaborative effort put together by **students** in progress to get AAS degrees in **Architectural Technologies**, **Construction Management**, and **Interior Design** at Kirkwood.

Kirkwood Community College is a public community college, founded in 1969. The main campus is in **Cedar Rapids, Iowa** with regional centers located across eastern Iowa. The college boasts **18K students annually**, with **over 140 degrees and programs** that vary from transfer degrees to four year universities to programs in conjunction with high schools across the state.

Our Company

Our Mission: We design and build structures with a focus on **sustainability** and **ethics**. We are **committed** to our clients across all phases of a project. Through every interaction, we reach new heights in **quality**, **courtesy**, **effciency**, **responsibility**, and **sustainabilty**.

Quality & Satisfaction: We strive to provide a **superior experience to all clients, contractors, and community members**. We give our clients **excellence** from start to finish. Through **intentional communication** and **friendly relations**, we will walk alongside our clients through the building process. From design concepts and material selection to completion with final walk-throughs, **we aim to provide clients unique projects they are 100% satsified with**.

Our clients deserve a **stress-free experience**. To achieve this, we use **high quality materials** and **work with reputable partners**. **Regular supervisory meetings** are scheduled to ensure **each project is completed to our rigorous standards**. To give our clients peace of mind, we provide a **worry-free warranty period of one year** after their move-in date; providing easy access and online reporting for any concerns that may arise.

Proposal Team

Nick Dykstra

Project Manager/Lead Scheduler

2nd Year Construction Management - AAS

Nick first found an interest in construction in high school where he built decks, garages, siding, and shingled roofs. From there he knew he wanted to have a career in construction but did not yet know which field he wanted to make a career in. After taking a year of liberal arts classes his freshman year he decided to enroll in the Construction Management program. Since starting this program, Nick has been able to meet many people in the construction industries through professors, NAHB, HBA, and work. After graduation, Nick wants to work as a project manager and continue residential construction but has also taken an interest in exploring the commercial side of construction as well.

Adrianna Zweibohmer

Lead Estimator

2nd Year Construction Management - AAS

Adrianna has been around different types of construction ever since she was a kid. Her dad dug basements and did small remodels on the side, along with field construction. As a little kid, she always made rooms or houses out of popsicle sticks for her dolls. Once she reached middle school it turned into laying out her “Dream Home” multiple times and drawing what she wanted the outside to look like. After high school she decided to pursue her dreams and study construction. She decided to enroll in the Architectural Technology program, but was later approached and told to look into the construction management program. After sitting down with a couple of the instructors she decided construction management was a better fit for her. Since then she was hired at her first construction company and has had many opportunities to meet new people and make connections within the industry.

Marshall Nieland

Estimator

2nd Year Construction Management - AAS

Marshall found an interest in construction a few years after high school where he worked for a small local family business. Since then he has worked for numerous companies and has touched nearly every industry of construction you could think of. His passion led him to realize a dream of owning his own business one day and he decided his best option would be to go back to school and learn as much as he could as a Construction Management student. While in school Marshall took advantage of opportunities presented to him and was able to further his construction experience by participating in the NAHB student project where he could see first hand how a job is completed from start to finish. After graduation, Marshall plans to continue working for his current employer while simultaneously planning to create his own company in the residential sector.

Proposal Team

Kenneth Dykes-Rankin

Architect

2nd Year Architectural Technology - AAS

Kenneth first found an interest in architecture in his younger years. Growing up with some family members who worked and dealt with concrete, he would spend his summers in the state of Washington; where he would travel with his father and uncle John pouring concrete and laying out concrete forms. At age 17, Kenneth moved to Washington state, and while taking online school, he did some helping out around various worksites with more of his family for a few years passed by, after which he decided to move back for his senior year. He decided to take some time to research various job opportunities, preferring to take on more of a designer role. Enrolled in Kirkwood Community College and proceeded to take part in the NAHB student competition in 2023. Now in his second year, Kenneth aims to further his knowledge in the ACE industries by experiencing the NAHB student competition once again. After graduation, Kenneth plans to move on to work within the field of architectural design, wherever that may lead.

Tyson Belk

Lead Architect

2nd Year Architectural Technology - AAS

Tyson first started designing and working construction in high school. After a semester at Iowa State University he decided to transfer to Kirkwood Community College to pursue a degree in architectural technologies to go into residential design. He chose to compete in the NAHB student competition to challenge himself and get a deep look into the home construction process as a whole as well as to broaden his knowledge and networking abilities in the construction field. After graduation, Tyson plans to continue working at Bryan's Construction Company to assist in drawing and designing new residential homes.

Samantha Ross

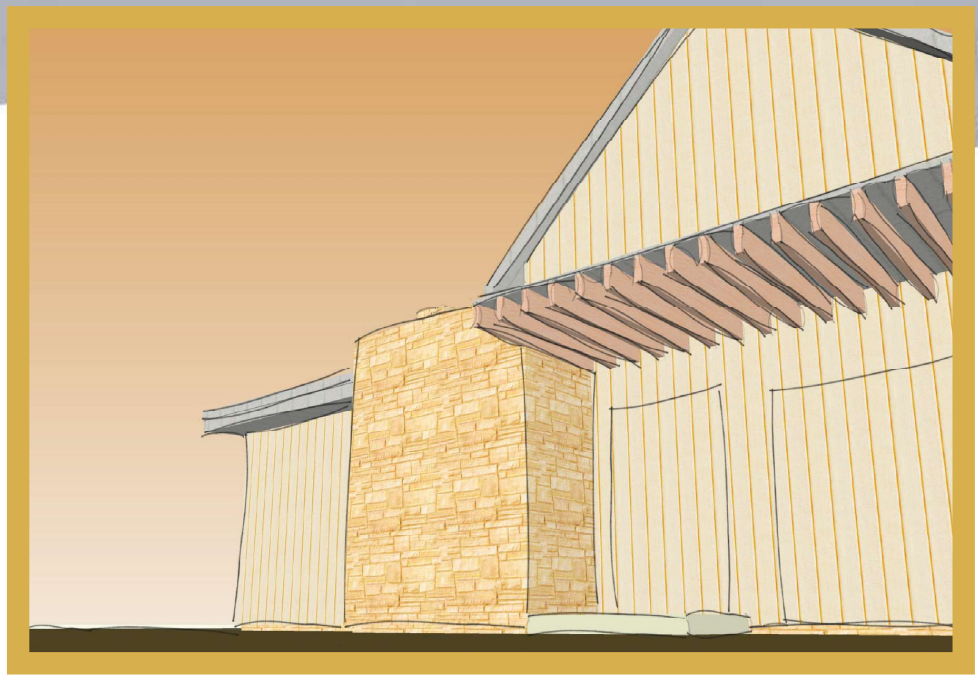
Interior Designer (Alternate)

1st Year Interior Design/Interior Architecture - AAS

Samantha has always wanted to go into an artistic field of study and work. Her interest in drawing and design has lead her to explore many creative opportunities and try all kinds of new things. After taking an Interior Design class in high school, she decided to pursue a degree and career in that. Since deciding that, she finds herself drawn to unique architecture and fascinating design, especially for houses. She is using her time at Kirkwood Community College to discover what kind of a career in Interior Design/Interior Architecture would work best for her. As part of the process, she joined the NAHB competition team and the student organization of Interior Designers at Kirkwood Community College. While she does not know exactly what she wants to do after graduation, Samantha hopes to be able to apply her newfound knowledge for something artistic and fulfilling.

Project Description

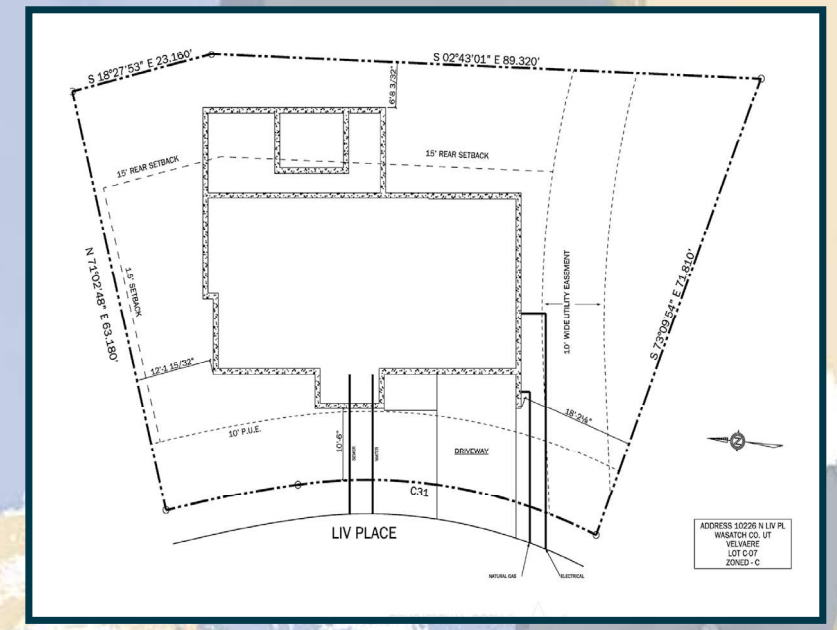
Using the floor plans, elevations, precise plot plan, project specifications, included features, NAHB Q&A forum, and estimate & schedule templetes **provided by the NAHB**, **Eagle Construction** has prepared a **building proposal** as part of the **2024 NAHB Student Residental Construction Competition**. The proposal is to Magleby Development to build the assigned plan “Cabin B” in lot C-07 of the Magleby Development community of Velvaere. The project is found at 10226 N LIV PL, Park City, Utah, in the county of Wasatch.

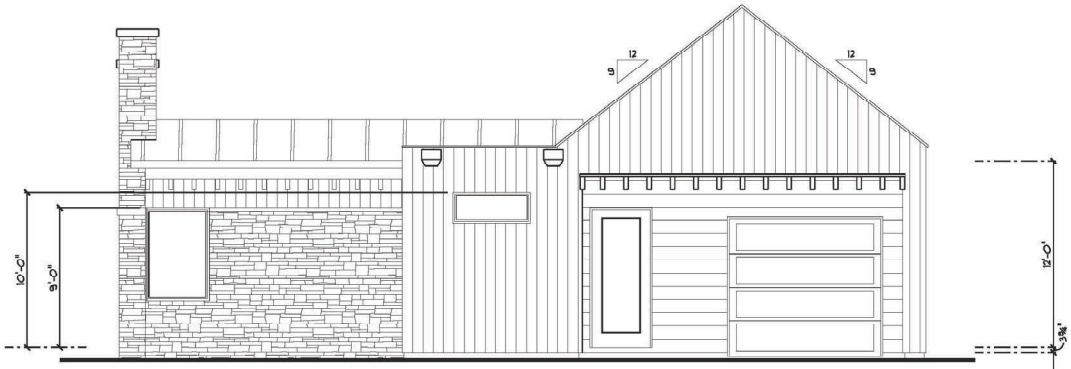


Our proposal for 10226 N LIV PL (lot C-07) for Magleby Development includes a partial set of **drawings and details**, a **detailed cost estimate**, a **completed construction schedule**, and a **construction management plan** for the two story house. Included in this booklet is also **relevant information** about **Eagle Construction** and its **2024 NAHB Student Competition Team**.

Executive Summary for Construction Documents

Included in the construction documents are the **site plan**, **SWPPP**, **foundation plans**, **floor plans**, **elevation drawings**, **section drawings**, and **detail drawings**. Detailed electrical, plumbing, and HVAC plans were beyond the scope of this project and were not prepared. We have taken the time to review and revise all plans to ensure there are **no duplications** and that **no information was omitted**.





WEST ELEVATION

EAST ELEVATION

KEY NOTES	
EL-01	CONTRACTOR SHALL VERIFY THAT ALL GRADE SLOPES AWAY FROM BUILDNG. SLOPE SHALL BE 6" SLOPE IN FIRST 10'-0"
EL-03	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP
EL-15	EXTERIOR WALL MOUNTED LIGHT FIXTURE
EL-20	STEEL PIPE COLUMN, SEE STRUCTURAL-TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAINT COLOR PER OWNER, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
EL-21	MECHANICAL AIR CONDITIONER UNIT- SEPARATION BETWEEN UNITS AND MAINTENANCE CLEARANCES PER MANUF.
EL-23	HEAVY TIMBER, SEE STRUCTURAL
EL-28	ARCHITECTURAL GRADE CONCRETE FINISH ON ALL EXPOSED CONCRETE
EL-30	BBQ-GRILL AS SELECTED BY OWNER
EL-37	FOR TERMINATION OF DOWNSPOUTS SEE LANDSCAPE PLANS
EL-40	ELECTRICAL - MAIN ELECTRICAL PANEL WITH METER - INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER- SEE ELECTRICAL
EL-41	ELECTRICAL - MAIN ELECTRICAL PANEL WITH METER - INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER- SEE ELECTRICAL
EL-42	GAS METER, INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER - PROVIDE PROTECTIVE COVER (SHOWN DASHED) AS REQUIRED BY UTILITY PROVIDER
EL-45	ELECTRICAL EQUIPMENT- SEE ELECTRICAL DRAWINGS

WEST & EAST ELEVATIONS

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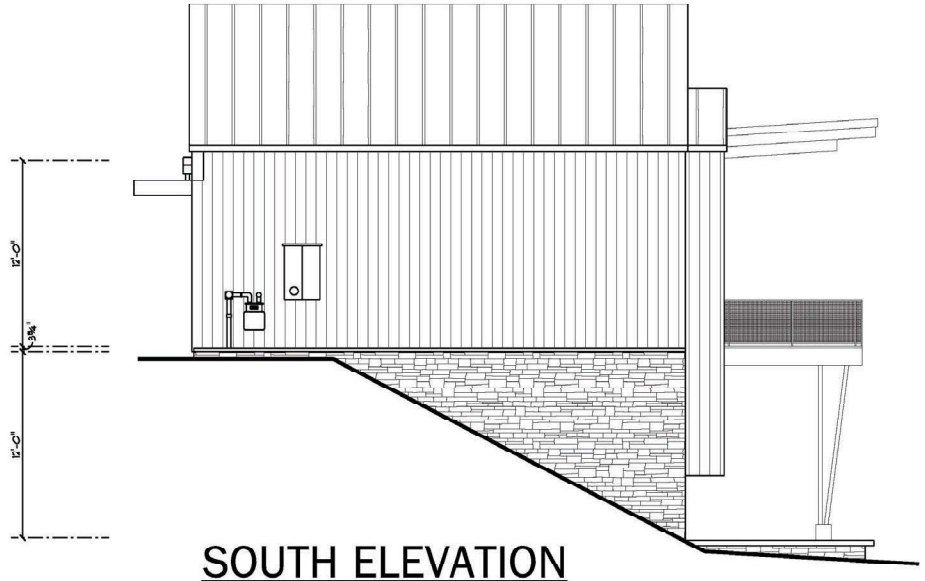
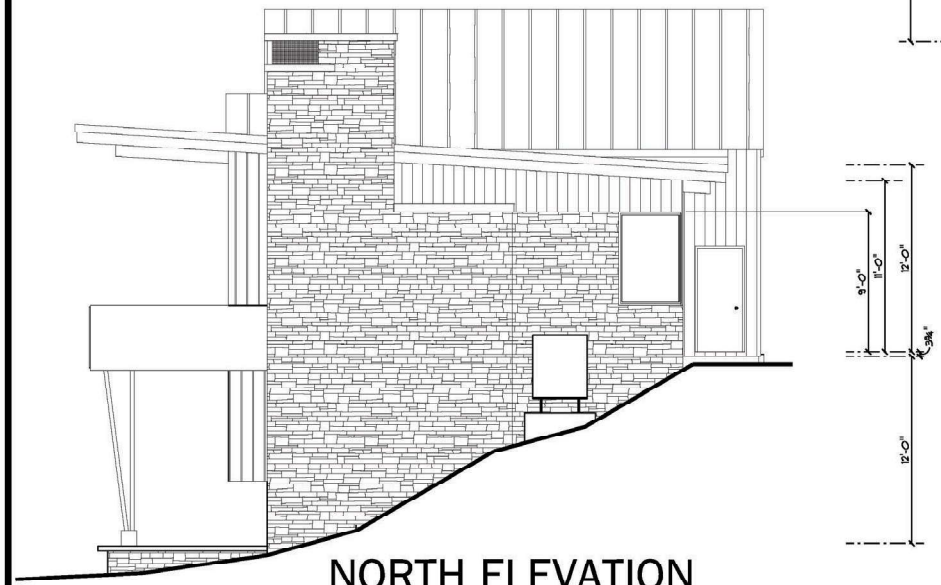
EAGLE CONSTRUCTION

NAHB PROJECT

EAGLE CONSTRUCTION



SOUTH ELEVATION



NORTH ELEVATION

KEY NOTES	
EL-01	CONTRACTOR SHALL VERIFY THAT ALL GRADE SLOPES AWAY FROM BUILDNG. SLOPE SHALL BE 6" SLOPE IN FIRST 10'-0"
EL-02	CONTRACTOR TO COORDINATE WITH CIVIL DRAWINGS FOR LOCATION OF UTILITIES, AND COORDINATE GAS AND ELECTRICAL METERS ON BUILDING AND SHALL PROVIDE PROTECTION
EL-03	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP
EL-20	PREFINISHED METAL FASCIA
EL-21	STEEL PIPE COLUMN, SEE STRUCTURAL-TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAINT COLOR PER OWNER, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
EL-23	MECHANICAL AIR CONDITIONER UNIT- SEPARATION BETWEEN UNITS AND MAINTENANCE CLEARANCES PER MANUF.
EL-28	HEAVY TIMBER, SEE STRUCTURAL
EL-30	ARCHITECTURAL GRADE CONCRETE FINISH ON ALL EXPOSED CONCRETE
EL-37	BBQ-GRILL AS SELECTED BY OWNER
EL-40	FOR TERMINATION OF DOWNSPOUTS SEE LANDSCAPE PLANS
EL-41	ELECTRICAL - MAIN ELECTRICAL PANEL WITH METER - INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER- SEE ELECTRICAL
EL-42	GAS METER, INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER - PROVIDE PROTECTIVE COVER (SHOWN DASHED) AS REQUIRED BY UTILITY PROVIDER
EL-44	PROVIDE A U-FER GROUND. AN ELECTRODE ENCASED BY AT LEAST 2" OF CONCRETE-SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG.(I.R.C.E3508.1.2 AND N.E.C.250.50)
EL-45	ELECTRICAL EQUIPMENT- SEE ELECTRICAL DRAWINGS

NORTH & SOUTH ELEVATIONS

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SCALE: 1/8" = 1'-0"
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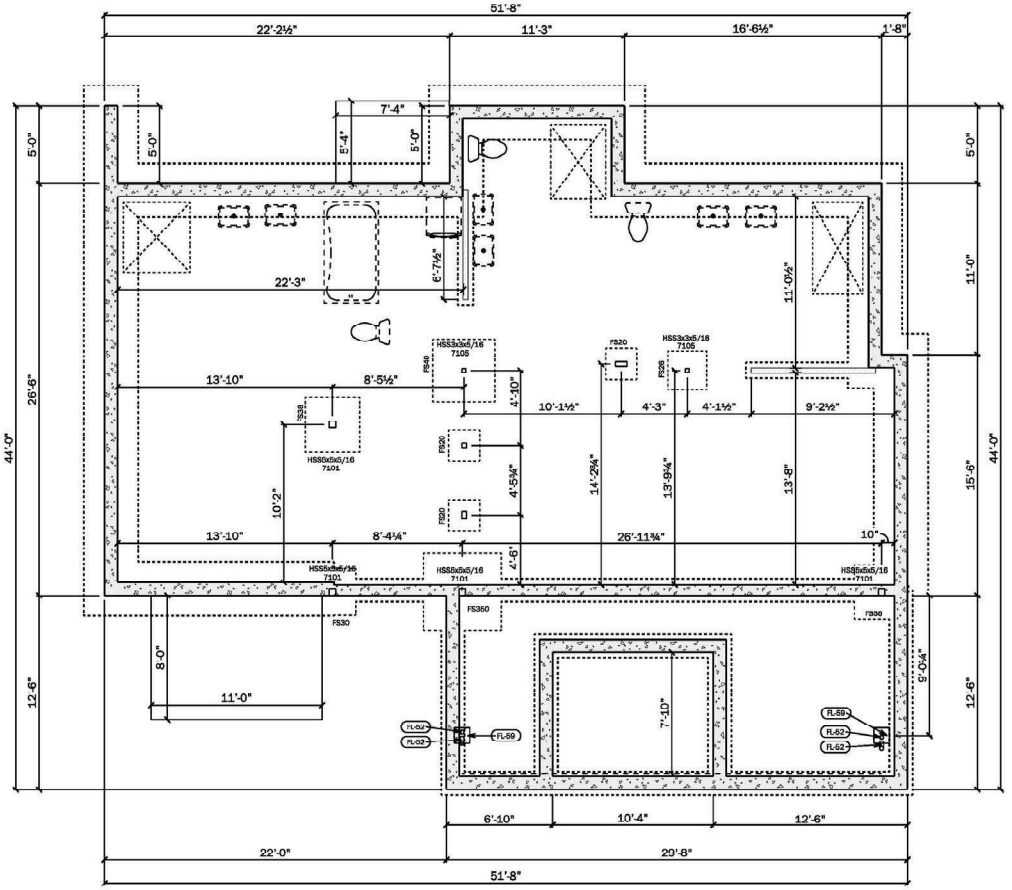
EAGLE CONSTRUCTION

NAHB PROJECT



Footing & Foundation Plan Notes

1	Verify all dimensions with architect prior to start of construction
2	Verify locations of all inserts in slab with the architectural, mechanical, plumbing, and electrical plans prior to the placement of concrete slab
3	Concrete slab on grade shall be 4" thick over 2" sand over 10mil. Visqueen (Vapor barrier) over 4" type II aggregate base material. As an option, 10 mil visqueen may be place below the type II and the sand eliminated. The base material shall be moistened (but not saturated) prior to the placement of the concrete. Recommended reinforcement of the concrete slab should be #3 bars at 18" o.c. each way (for improved crack control results, every other bar should be cut atr control joints). As an alaternate, 6 x 6 - W2.1 welded wire fabric (in sheets), centered in slab thickness.
4	Anchor bolts and holdowns shall be secured in place prior to the placement of concrete, and shall be installed per the manufacturer's specifications and the General Notes
5	All site walls, sidewalks, or other architectural features shall be by others (unless noted otherwise).
6	The finished surface of the slab on grade shall be noted as 100'-0" (elevation) unless noted otherwise on the footing and foundation plan
7	Size and reinforcement of isolated and continuous footings shall be per the footing schedule below.
8	All exterior footings shall bear below frost depth (42") according to the soils report or applicable building codes.

Concrete Wall Schedule

Mark	Wall Thickness	Vertical Reinforcing	Horizontal Reinforcing	Top & Bottom Bars	Notes
CW1	8"	#4@12" o.c.	#4@12" o.c.	(2) #4 bars	Center bars in wall
CW2	10"	#5@9" o.c.	#4@12" o.c.	(2) #4 bars	Provide 8" clear cover from soil side of wall
CW3	8"	#5@6" o.c.	#4@12" o.c.	(2) #4 bars	Provide 6" clear cover from soil side of wall

Continuous Footing Schedule

Mark	Width	Thickness	Longitudinal Reinforcing			
			No.	Size	Length	Spacing
FC10	1' - 0"	1' - 0"	2	#4	Continuous	Equal
FC16	1' - 6"	1' - 0"	3	#4	Continuous	Equal
FC33	3' - 3"	1' - 0"	5	#4	Continuous	Equal

Isolated Footing Shcedule

Mark	Width	Length	Thick-ness	Crosswise Reinforcing				Longitudinal Reinforcing			
				No.	Size	Length	Spacing	No.	Size	Length	Spacing
FS20	2' - 0"	2' - 0"	12"	3	#4	1' - 6"	Equal	3	#4	1' - 6"	Equal
FS26	2' - 6"	2' - 6"	12"	4	#4	2' - 0"	Equal	4	#4	2' - 0"	Equal
FS30	3' - 0"	3' - 0"	12"	5	#4	2' - 6"	Equal	5	#4	2' - 6"	Equal
FS36	3' - 6"	3' - 6"	12"	5	#4	3' - 0"	Equal	5	#4	3' - 0"	Equal
FS40	4' - 0"	4' - 0"	12"	6	#4	3' - 6"	Equal	6	#4	3' - 6"	Equal
FS50	5' - 0"	5' - 0"	12"	7	#4	4' - 0"	Equal	7	#4	4' - 0"	Equal

Plywood Shear Wall Schedule

** Where 1-1/8" plywood is used for floor sheathing, use 1/4"x4" screws in lieu of 16d nails.*

Mark	Sheathing Thickness	Edge Nailing	Length		Minimum Sill Plate Thickness
			A.B. Spacing @ Foundation	Bottom Plate Nails @ Floor*	
SW1	3/8" plywood, blocked, one side of wall	8d @ 6" o.c.	1/2" dia. Anchor bolts @ 32" o.c.	16d @ 6" o.c.	2x
SW2	3/8" plywood, blocked, one side of wall	8d @ 4" o.c.	1/2" dia. Anchor bolts @ 32" o.c.	16d @ 6" o.c.	2x
SW3	3/8" plywood, blocked, one side of wall, 3" nominal framing @ panel edges	8d @ 3" o.c.	1/2" dia. Anchor bolts @ 10" o.c.	16d @3" o.c.	2x
SW3 (alt)	3/8" plywood, blocked, one side of wall, 3" nominal framing @ panel edges	8d @ 3" o.c.	1/2" dia. Anchor bolts @ 20" o.c.	16d @3" o.c.	2x
SW4	3/8" plywood, blocked, one side of wall, 3" nominal framing @ panel edges	8d @ 2" o.c.	1/2" dia. Anchor bolts @ 8" o.c.	---	2x
SW 4(alt)	3/8" plywood, blocked, one side of wall, 3" nominal framing @ panel edges	8d @ 2" o.c.	---	1/4" dia. X 5" long screws @ 6" o.c.	2x
SW5	3/8" plywood, blocked, one side of wall, 3" nominal framing @ panel edges	8d @ 4" o.c. (staggered)	1/2" dia. Anchor bolts @ 16" o.c.	1/4" dia. X 5" long screws @ 4" o.c.	2x
SW6	3/8" plywood, blocked, one side of wall, 3" nominal framing @ panel edges	8d @ 3" o.c. (staggered)	1/2" dia. Anchor bolts @ 10" o.c.	1/4" dia. X 5" long screws @ 4" o.c.	2x
SW7	3/8" plywood, blocked, one side of wall, 3" nominal framing @ panel edges	8d @ 2" o.c. (staggered)	5/8" dia. Anchor bolts @ 8" o.c.	1/4" dia. X 5" long screws @ 4" o.c.	2x

Plywood Shear Wall Notes

A.	Shear wall studs shall be placed 16" o.c. maximum. Framing and blocking at panel edges (where note above) shall be 2x minum, unless noted otherwise.
B.	Provide (2) full height studs (min.) at ends of shear walls, unless noted otherwise on plans, details, or hold down requirements. Shear walls without hold downs require (1) stud at each end or shear wall (min.) Trimmer stud may be counted as an end stud at non-bearing walls.
C.	Plywood may be installed either horizontally or vertically, unless noted otherwise.
D.	Use A.B. (anchor Bolts) noted per G.S.N., details, and this schedule for bottom sill plate attchment at foundation. Use staggered nails as noted in the schedule for bottom plate attachment at elevated shear walls. See G.S.N. for optional shot-pins and epoxy bolts where allowed by G.S.N.
E.	Where sheathing is interrupted by intersecting wall, provide continuity channel per General Details.
F.	Multiple 2x studs at holdowns shall be stitch-nailed together with 16d sinkers @ 6" o.c. (staggered).
G.	All field nailing shall be at 12" o.c. with the same size nail specified for edge nailing.
H.	Anchor bolts for shear walls shall include steel plate washers, .295"x3", in sice between the sill plate and the nut. The hole in the plate washer is permitted to be diagonally slotted with a width of up to 3/16" larger than the bolt diameter and a slot length not exceed 1-3/4", provided a standard cut washer is placed between the plate washere nut. Where a single 3" nominal sill plate i s used, (2)16d box nails shall be sustituted for (2) 16d common nails for the end nail connection of the stud to the sole plate.
J.	(2)2x framing may be used in lieu of 3x nominal framing it called out on the schedule. (2)2x framing shall be stitch-nailed together with 16d sinkers @ 6" o.c. (staggered).
K.	Provide WSP - Structural I panels for all shear walls. A.P.A. performance rated sheathing (O.S.B.) may be used as an alternate to plywood with prior approval of owner and/or architect. Rated sheathing shall comply with ICC-ES Evaluation Report NO. ESR-2586, exposure 1, and shall have a span rating equivalent to or better than the plywood it replaces. Install per manufacturer's recommendations.

Keynotes

Key Note	Keynote Text
4106	Concrete pier - provide 18"x18" with (5) #5 vertical bar at each corner & (1) #5 vertical bar at each face of the pier (8 vertical total). Provide #3 tie @ 4" o.c. full height of pier. Provide (3) #3 ties within the top 5" of concrete pier/coulmn.
7101	Provide 11"x11"x3/4" base plate with (2) 3/4" diameter anchor bolts into concrete footing/pier. Provide 7" embedment into concrete footing/pier/stem wall.
7102	Provide 5-1/2"x11"x3/4" base plate with (2) 3/4" diameter anchor bolts into concrete stem/basement wall. Baseplate and column may be extended down to the top of the footing in order to avoid conflicts with door openings. Provide 7" embedment into concrete footing/pier/stem wall.
7105	Provide 9"x9"x3/8" base plate (4) 3/4" diameter anchor bolts into concrete footing/pier. Provide 7" embedment into concrete footing/pier/stem wall.
7116	Provide 10"x16"x3/8" base plate (4) 3/4" diameter anchor bolts into concrete footing/pier. Provide 7" embedment into concrete footing/pier/stem wall.

FOOTING & FOUNDATION PLAN

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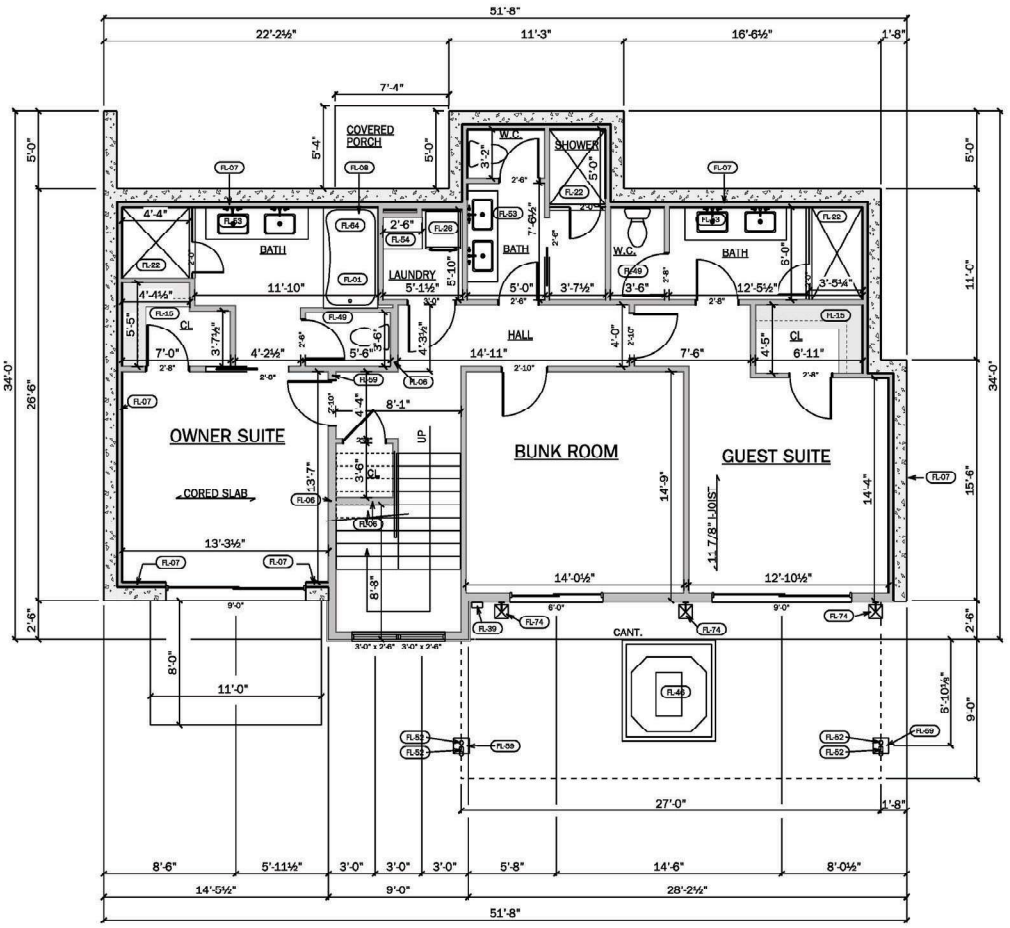
EAGLE CONSTRUCTION

NAHB PROJECT



FLOOR PLAN GENERAL NOTES
1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.X) UNLESS NOTED OTHERWISE.
2. CEILING HEIGHTS MEASURES FROM PLYWOOD OR CONCRETE - SEE SECTIONS
3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
4. REER TO ENLARGED REFER TO ENLARGED PLAMS FOR ALL DECKS/PATIOS.
5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
6. ALL TOPPING SLAB MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
7. SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION
8. COORDINATE WITH STRUCTURAL FRAMIN PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
9. COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES
10. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIRMENTS.
11. ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
12. ALL INTERIOR WALL ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
13. ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RECHECKS)
14. FOR TYPICAL WALL ASSEMBLIES/DETAILS SEE SHEET G004.

FLOOR PLAN KEYNOTES	
FL-01	CONSTRACTOR TO COORDINATE FLOOR PENETRATIONS WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS
FL-06	2X6 STUD WALL ROUGH FRAMING. 16" O.C. U.N.O.. SEE DEATILS.
FL-07	2X4 BASEMENT STUD FURRING WALL, 16" O.C. SEE DETAILS.
FL-08	2X6 BASEMENT STUD FURRING WALL, 16" O.C. SEE DETAILS.
FL-15	CLOSET SHELVING/ROD AS SELECTED BY INTERIOR DESIGNER
FL-22	BATH HARDWARE- PER INTERIOR DESIGNER FOR MOUNTING HEIGHT- CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION OF BATH HARDWARE AS PER MANUFACTURER
FL-26	STACKABLE WASHER/DRYER. COORDINATE W/ INTERIOR DESIGNER & CONSTRUCTION TRADES AS REQUIRED
FL-39	ELECTRICAL EQUIMENTS- SEE ELECTRICAL DRAWINGS
FL-46	HOT TUB BULLFROG A8 SERIES. CONFIRM PIT SIZE AND DEPTH REQUIREMENTS WITH MANUFACTURER
FL-49	W.C. PER INTERIOR DESIGNER
FL-52	PIPE STEEL COLUMNS- SEE STRUCTURAL FOR SIZE AND SPECS.
FL-53	BATHROOM SINK - VANITY - PER INTERIOR DESIGN
FL-54	ALL CASEWORK - PER INTERIOR DESIGNER
FL-59	CAST IN PLACE CONCRETE COLUMN PER STRUCTURAL
FL-64	BATHTUB AS PER INTERIOR DESIGNER
FL-74	EXTERIOR WALL MOUNTED LIGHT FIXTURE

LEVEL 0 FLOOR PLAN

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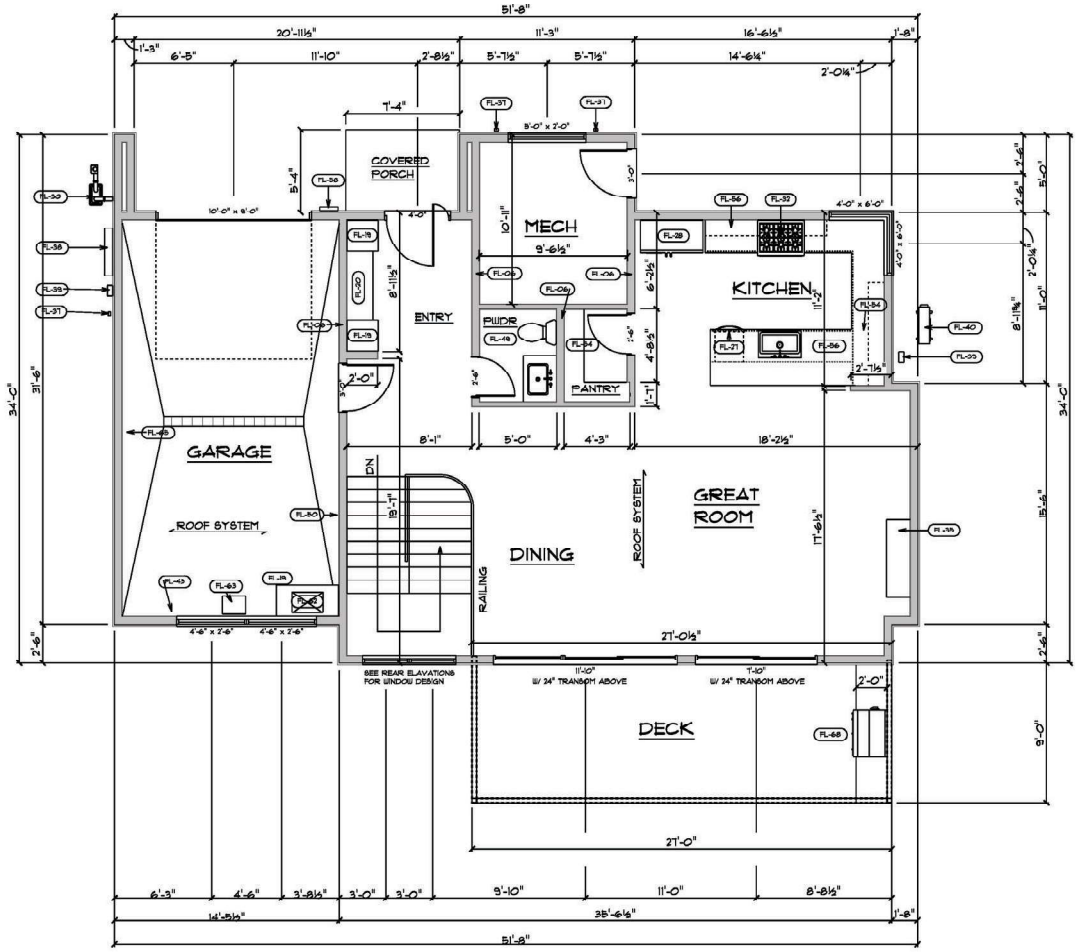
EAGLE CONSTRUCTION



FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.X) UNLESS NOTED OTHERWISE.
2. CEILING HEIGHTS MEASURES FROM PLYWOOD OR CONCRETE - SEE SECTIONS
3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
4. REER TO ENLARGED REFER TO ENLARGED PLAMS FOR ALL DECKS/PATIOS.
5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
6. ALL TOPPING SLAB MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
7. SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION
8. COORDINATE WITH STRUCTURAL FRAMIN PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
9. COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES
10. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIRMENTS.
11. ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
12. ALL INTERIOR WALL ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
13. ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RECHECKS)
14. FOR TYPICAL WALL ASSEMBLIES/DETAILS SEE SHEET G004.

FLOOR PLAN KEYNOTES	
FL-19	WOOD LOCKERS AS SELECTED BY OWNER/ INT. DESIGNER
FL-20	WOOD BENCH PER INTERIORS
FL-27	DISHWASHER, COORD, W/ INT. DESIGNER & CONSTRUCTION TRADES AS REQUIRED
FL-28	REFRIGERATOR/ FREEZER COMBO. COORDINATE W/ INT. DESIGNER & CONSTRUCTION TRADES AS REQUIRED
FL-30	GAS METER, INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER - PROVIDE PROTECTIVECOVER AS REQUIRED BY UTILITY PROVIDER.
FL-32	GAS RANGE AS SELECTED BY INTERIOR DESIGNER. COORD. W/ INT.DESIGNER AND CONSTRUCTION TRADES AS REQUIRED
FL-35	GAS FIREPLACE, AS SELECTED BY OWNER, PROVIDE GAS HOOKUP PER MANUFACTURER'S INSTRUCTIONS
FL-38	ELECTRICAL PANEL, SEE ELECTRICAL DRAWINGS
FL-39	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE
FL-39	ELECTRICAL EQUIPMENTS- SEE ELECTRICAL DRAWINGS
FL-40	AIR CONDITIONER, OUTSIDE UNIT
FL-43	WALL HUNG BICYCLE RACK
FL-49	W.C. PER INTERIOR DESIGNER
FL-50	PROVIDE HOT/COLD HOOK UP
FL-54	ALL CASEWORK - PER INTERIOR DESIGN
FL-56	KITCHEN SINK, HARDWARE AND CABINETRY PER INTERIOR DESIGNER - COORDINATE W/PLUMBING, ELECTRICAL AND MECHANICAL
FL-58	ADDRESS SIGN LOCATION - COORDINATE WITH ELECTRICAL FOR LIGHTED SIGN - SEE ELEVATIONS AND DETAILS
FL-62	WATER SOFTENER AS PER PLUMBING SPECIFICATIONS
FL-63	BATTERY PACKS, AS PER OWNER.
FL-65	WALL MOUNTED SKI RACK
FL-68	BBQ-GRILL AS SELECTED BY OWNER-COORDINATE WITH MECHANICAL FOR NATURAL GAS
FL-OG	2X6 STUD WALL ROUGH FRAMING. 16" O.C. U.N.O.. SEE DETAILS

LEVEL 1 FLOOR PLAN

PAGE: 5/10

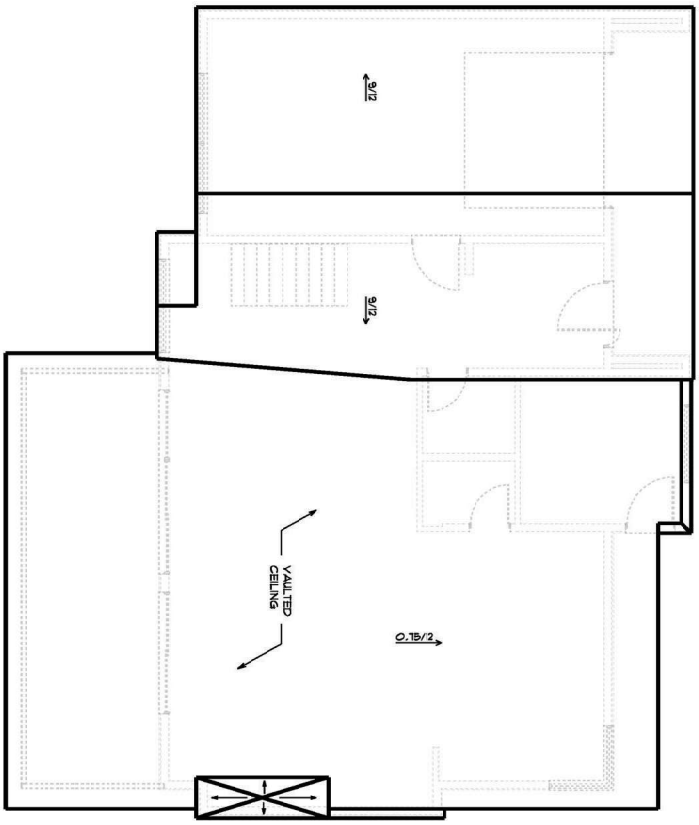
DRAWN BY: TYSON BELK

SCALE: 1/8" = 1'-0"

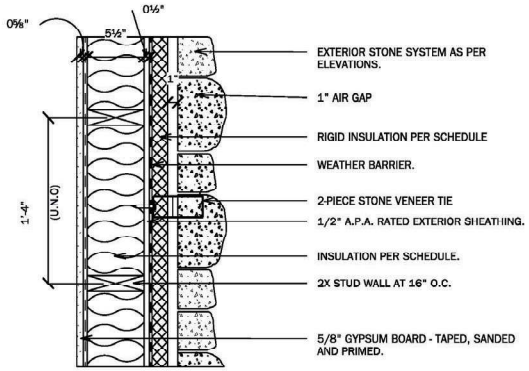
DATE: 12/1/23

NAHB PROJECT

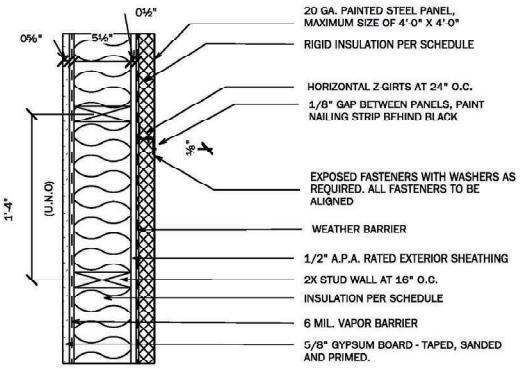
EAGLE CONSTRUCTION



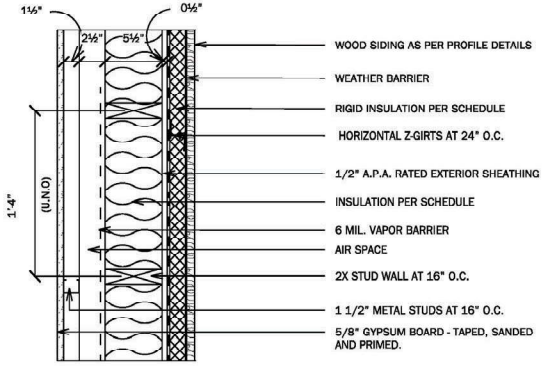
NAHB PROJECT		ROOF PLAN
EAGLE CONSTRUCTION		DRAWN BY: TYSON BELK SCALE: 1/8" = 1'-0" DATE: 12/1/23
		PAGE: 6/10



WOOD FRAME + STONE MASONRY
SCALE: 1" = 1'-0"



WOOD FRAMING + METAL PANELING
SCALE: 1" = 1'-0"



WOOD FRAMING + WOOD PANELING
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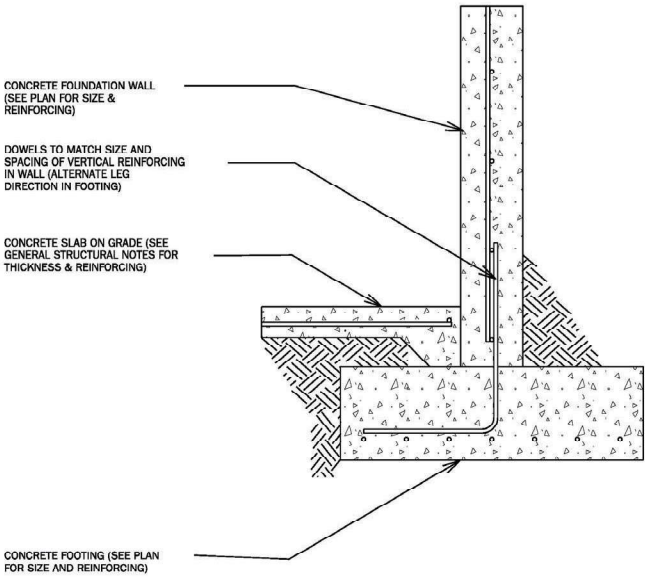

FOOTING AND FOUNDATION WALL DETAIL
SCALE: 3/4" = 1'-0"

WALL ASSEMBLIES

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SCALE: As Noted
DATE: 12/1/23

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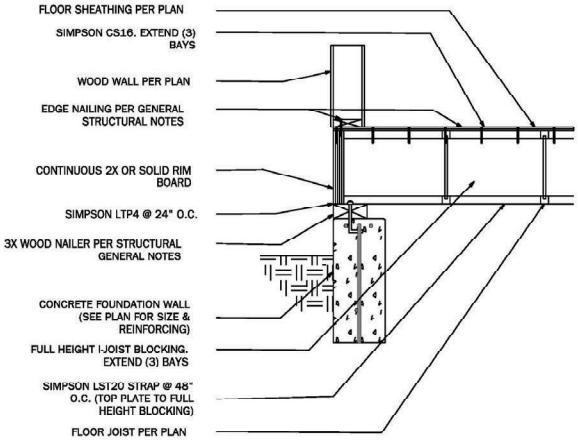
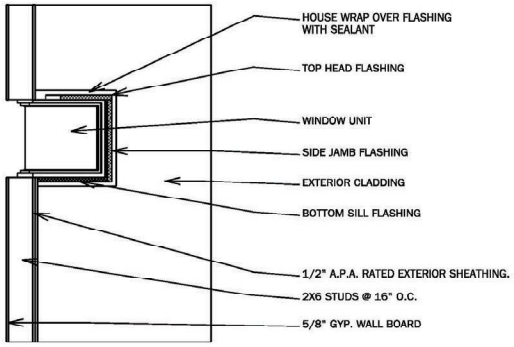
EAGLE CONSTRUCTION

NAHB PROJECT



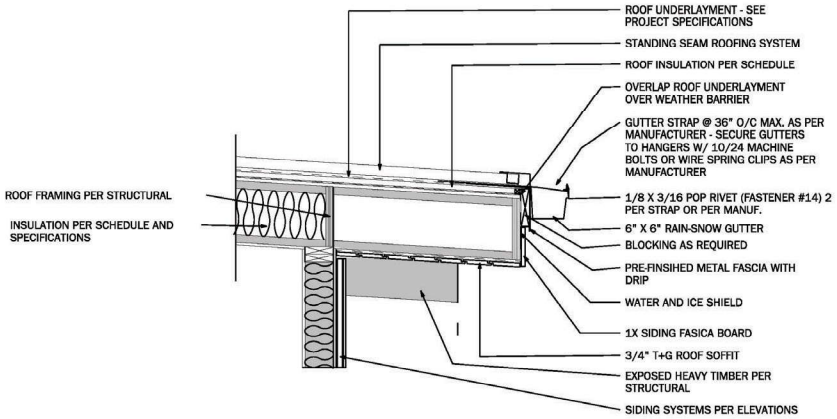
FRAMING TO FOUNDATION DETAIL

SCALE: 1/2" = 1'-0"



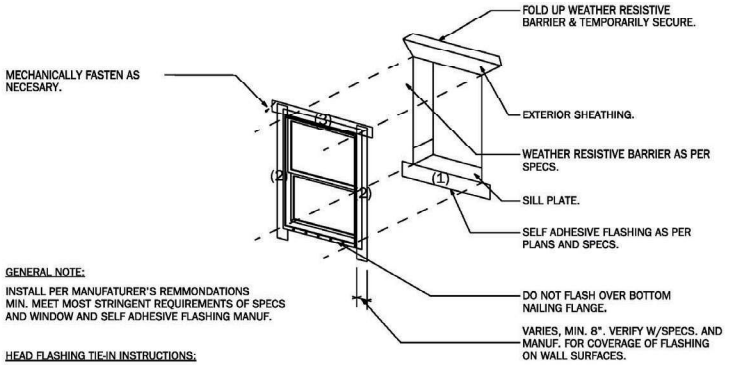
WINDOW FLASHING DETAIL

SCALE: 1/4" = 1'-0"



ROOF EAVE DETAIL

SCALE: 1/2" = 1'-0"



WINDOW FLASHING INSTALLATION DETAIL

SCALE: 1/4" = 1'-0"

DETAILS

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SCALE: As Noted

DATE: 12/1/23

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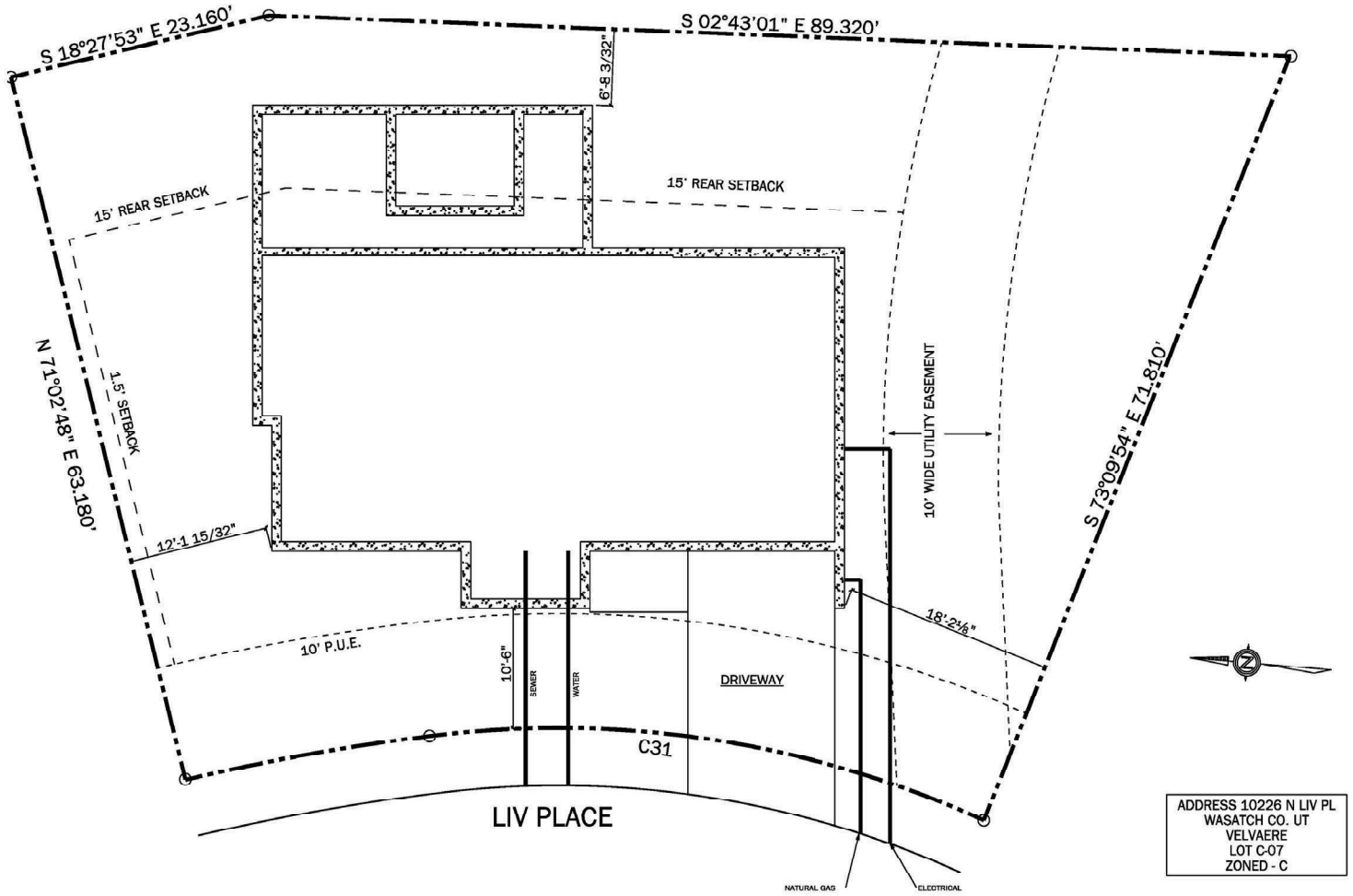
NAHB PROJECT

EAGLE CONSTRUCTION



SITE PLAN

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SCALE: 1" = 10'-0"
DATE: 12/1/23

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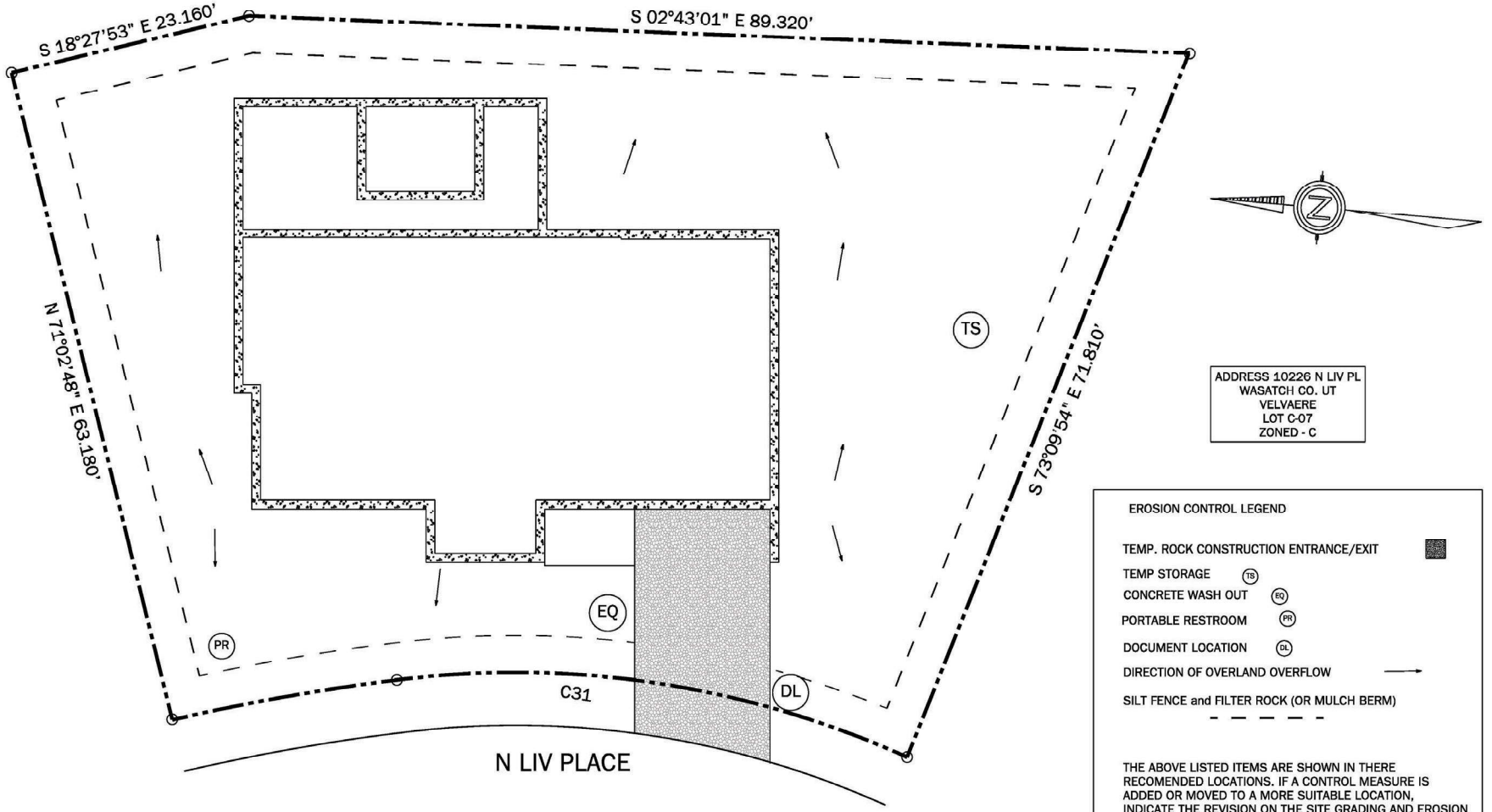
NAHB PROJECT

EAGLE CONSTRUCTION



ADDRESS 10226 N LIV PL
WASATCH CO. UT
VELVAERE
LOT C-07
ZONED - C

EROSION CONTROL LEGEND

- TEMP. ROCK CONSTRUCTION ENTRANCE/EXIT
- TEMP STORAGE (TS)
- CONCRETE WASH OUT (EQ)
- PORTABLE RESTROOM (PR)
- DOCUMENT LOCATION (DL)
- DIRECTION OF OVERLAND OVERFLOW
- SILT FENCE and FILTER ROCK (OR MULCH BERM)

THE ABOVE LISTED ITEMS ARE SHOWN IN THERE RECOMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THE SITE GRADING AND EROSION CONTROL PLAN. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE.

SWPPP PLAN

DRAWN BY: TYSON BELK
SCALE: 1" = 10'-0"
DATE: 12/1/23

PAGE: 10/10

EAGLE CONSTRUCTION

NAHB PROJECT

Executive Summary for Estimate

Using Magleby Construction, NAHB guidelines, and the provided templates, Eagle Construction has provided a detailed build estimate valid for **30 days**.

Before factoring in the overhead or the profit, **the cost of construction is $2,052,752**. We have calculated a **profit of $143,693 (7%)** and an **overhead of $307,913 (15%)**, resulting in a **total cost of $2,504,357.**

Prices have been obtained from **contractors**, **subcontractors**, **retailers**, **online sources**, and **educational guidebooks** where necessary. We have made **regional price adjustments** from the **Midwest to Utah markets (+0.23%)** in order to address any discrepancies.

On competition guidance, **HVAC**, **plumbing**, and **electrical (MEPs)** have been included as **lump sum costs**, where appropiate. However, fixtures and finishes relating to these divisions have been broken out for information and pricing purposes. **Substitutions** due to **product availability** are **noted** as such and where appropriate.

Lead Time Statement

The following **lead times** were generated at the time of estimation and are valid for **30 days** following the receipt of the estimate. Given current industry climate and supply chain issues, lead times are **subject to change**. In order to ensure the most accurate lead times, we recommend ordering as early as possible. In order to maintain an accurate schedule, Eagle Construction reserves the right to **seek approval** for **comparable substitutions**. Eagle Construction always keeps clients **appraised** of any lead time changes and resulting schedule changes.

		Takeoff Qty		Unit Cost		Amount	
Item	Description	Quantity	UOM	Cost/Unit	UOM	Total	
02-00	**SITE WORK**						
02-0203	Stake Building	2,798	SF	0.29	/SF	800	
02-0213	SWPPP Plan BMP	154	LF	7.79	/LF	1,200	
02-0214	Lot Clearing		SF		/SF	0	DNA
02-0220	Excavation	262	CY	14.50	/CY	3,800	
02-0221	Rough Grade	3,727	SF	0.67	/SF	2,500	
02-0222	Interior Concrete Grading	1,120	SF	8.00	/SF	8,960	
02-0223	Exterior Concrete Grading	480	SF	9.00	/SF	4,320	
02-0224	Finish Grade	3,727	SF	0.48	/SF	1,800	
02-0225	Hauling	424	CY	14.00	/CY	5,936	
02-0230	Backfill & Compact	230	CY	36.00	/CY	8,280	
02-0232	Gas Lines	21	LF	25.00	/LF	513	
02-0233	Elec/Phone/T.V. Line	39	LF	11.66	/LF	450	
02-0234	Water Lines	20	LF	112.82	/LF	2,200	
02-0235	Sewer Lines	20	LF	190.00	/LF	3,800	
02-0237	Storm Water System	20	LF	15.00	/LF	300	
02-0238	Footing Drain	263	LF	8.37	/LF	2,200	
02-0239	Radon Systems	40	LF	31.30	/LF	1,252	
02-0245	Road Construction	288	SF	5.21	/SF	1,500	
02-0280	Landscaping	3,727	SF	12.00	/SF	44,724	
02-0285	Sprinkler Systems	2,032	SF	1.60	/SF	3,251	
	SITE WORK		***SSF***		***/SSF***	***97,786***	

		Takeoff Qty		Unit Cost		Amount
Item	Description	Quantity	UOM	Cost/Unit	UOM	Total
03-00	**CONCRETE**					
03-0310	Footings	284	LF	64.78	/LF	18,400
03-0320	Foundations	2,160	SF	224.76	/SF	48,855
03-0321	Concrete Site Walls	510	SF	5.58	/SF	2,846
03-0330	Flatwork Interior	1,749	SF	4.46	/SF	7,811
03-0340	Decorative Exterior Concrete	510	SF	5.58	/SF	2,846
03-0350	Concrete Pumps	1,000	EA	1,000.00	/EA	7,000
03-0352	Gypcrete	1,325	SF	3,000.00	/SF	3,000
03-0353	Spandeck/Suspended Slabs	357	SF	2.26	/SF	11,000
03-0355	Concrete Cutting	105	LF	2.50	/LF	263
03-0360	Concrete Disposal		MO	2,000.00	/MO	2,000
	CONCRETE		***CY***		***/CY***	***104,020***
04-00	**MASONRY**					
04-0415	Stone Masonry - Site Walls	41	SF	47.00	/SF	1,927
04-0430	Interior Stone Masonry	65	SF	200.00	/SF	13,000
04-0431	Exterior Stone Masonry	1,950	SF	47.70	/SF	93,015
04-0432	Masonry Accents	25	LF	100.00	/LF	2,500
	MASONRY		***GSF***		***/GSF***	***110,442***
05-00	**METALS**					
05-0510	Structural Steel	1,709	LBS	10.16	/LBS	17,270
05-0515	Steel Connections	100	LBS	20.00	/LBS	2,000
05-0525	Exterior Railing	45	LF	125.00	/LF	5,625
05-0526	Interior Railing	9	LF	125.00	/LF	1,125
05-0540	Decorative Metal	384	SF	7.81	/SF	3,000
	METALS		***GSF***		***/GSF***	***29,020***

DNA = Does Not Apply

		Takeoff Qty		Unit Cost		Amount
Item	Description	Quantity	UOM	Cost/Unit	UOM	Total
06-00	**CARPENTRY**					
06-0600	Framing - Labor	2,798	GSF	20.00	/GSF	55,960
06-0601	Framing - Material	2,798	GSF	16.00	/GSF	45,031
06-0602	Framing - Trusses	833	SF	31.10	/SF	19,234
06-0604	Pickup Framing	2,798	GSF	0.78	/GSF	2,200
06-0610	Finish Carpentry - Labor	2,193	FSF	10.00	/FSF	21,930
06-0611	Finish Carpentry - Material	2,193	FSF	25.00	/FSF	54,825
06-0612	Detail Finish Carpentry - Labor	2,193	SF	7.00	/SF	15,351
06-0613	Detail Finish Carpentry - Material	2,193	SF	5.00	/SF	10,965
06-0620	Siding Labor	2,000	SF	9.00	/SF	18,000
06-0621	Siding Material (Wood)	2,000	SF	13.56	/SF	27,120
06-0630	Deck Surface Labor	257	SF	8.00	/SF	2,056
06-0631	Deck Surface Material	257	SF	23.00	/SF	5,911
06-0650	Cabinetry	57	LF	587.72	/LF	33,500
06-0651	Cabinetry Hardware	50	LF	55.00	/LF	2,750
06-0681	Timber Framing - Labor	761	LF	20.00	/LF	15,220
06-0685	Timber Framing - Material	2,537	BF	4.80	/BF	12,176
	CARPENTRY		***GSF***		***/GSF***	***342,229***

		Takeoff Qty		Unit Cost		Amount	
Item	Description	Quantity	UOM	Cost/Unit	UOM	Total	
07-00	**THERMAL & MOISTURE**						
07-0700	Dampproofing	4,596	SF	5.00	/SF	22,980	
07-0710	Exterior Vapor Barrier	3,604	SF	6.00	/SF	21,624	
07-0711	Rain Screen	1,415	SF	1.69	/SF	2,391	
07-0720	Insulation	4,995	GSF	5.64	/GSF	28,150	
07-0721	Air Sealing	2,701	GSF	3.00	/GSF	8,103	
07-0725	Exterior Continious Insulation	3,604	SF	2.45	/SF	8,830	
07-0730	Roofing	4,676	SF	14.00	/SF	65,464	
07-0731	Roof Vents / Cupola / Finial		SF		/SF	0	DNA
07-0735	Metal Siding		SF		/SF	0	DNA
07-0740	Metal Flashing/Reglets	34	LF	0.75	/LF	26	
07-0760	Gutters & Downspouts	169	LF	8.99	/LF	1,520	
07-0761	Snow Retention	97	LF	22.50	/LF	1,000	
07-0770	Fascia - Labor	230	LF	6.00	/LF	1,380	
07-0771	Fascia - Material	230	LF	13.56	/LF	3,119	
07-0772	Soffit - Labor	1,584	SF	6.00	/SF	9,504	
07-0773	Soffit - Material	1,584	SF	3.00	/SF	4,752	
	THERMAL & MOISTURE		***GSF***		***/GSF***	***178,842***	

		Takeoff Qty		Unit Cost		Amount	
Item	Description	Quantity	UOM	Cost/Unit	UOM	Total	
08-00	**DOORS & WINDOWS**						
08-0805	Interior Doors	18	EA	3,443.52	/EA	61,983	
08-0806	Door and Hardware - Install	21	EA	200.00	/EA	4,200	
08-0810	Exterior Doors	2	EA	8,474.00	/EA	16,948	
08-0815	Entry Door Systems	1	EA	11,343.00	/EA	11,343	
08-0820	Door Hardware	21	EA	176.54	/EA	3,707	
08-0825	Specialty Hardware	1	EA	247.43	/EA	247	
08-0830	Garage Doors	1	EA	4,600	/EA	4,600	
08-0840	Windows	522	SF	407.04	/SF	212,473	
08-0843	Specialty Windows/Doors	40	SF	337.70	/SF	13,508	
08-0845	Window Install	23	EA	400.00	/EA	9,200	
08-0846	Window Flashings	298	LF	3.00	/LF	894	
08-0860	Mirrors	68	SF	21.36	/SF	1,452	
08-0870	Shower Doors	42	SF	150.00	/SF	6,300	
	DOORS & WINDOWS		***GSF***		***/GSF***	***346,857***	
09-00	**INTERIOR FINISHES**					0	
09-0920	Drywall	10,814	GSF	1.81	/GSF	19,573	
09-0925	Specialty Drywall/Plaster	214	SF	4.00	/SF	1,136	
09-0930	Tile Labor	921	SF	10.43	/SF	9,605	
09-0931	Tile Material	985	SF	20.87	/SF	20,555	
09-0938	Slab Tops	95	SF	249.08	/SF	23,737	
09-0940	Hardwood Flooring	911	SF	14.65	/SF	13,639	
09-0950	Carpet	564	SF	21.73	/SF	12,258	
09-0957	Garage Coatings	392	SF	12.00	/SF	4,704	
09-0960	Wall Coverings					0	DNA
09-0970	Interior Paint/Stain	12,000	GSF	2.00	/GSF	24,000	
09-0975	Exterior Paint/Stain	269	GSF	61.89	/GSF	16,495	
	INTERIOR FINISHES		***GSF***		***/GSF***	***126,993***	

		Takeoff Qty		Unit Cost		Amount
Item	Description	Quantity	UOM	Cost/Unit	UOM	Total
10-00	**SPECIALTIES**					
10-1010	Sealed Combustion Fireplaces	3	EA	13,360.00	/EA	40,080
10-1013	Mantels/Surround	1	EA	2,489.00	/EA	2,489
10-1014	Hearths	1	EA	8,000.00	/EA	8,000
10-1015	Chimney Caps	1	EA	3,000.00	/EA	3,000
10-1030	Toilet/Bath Hardware	3	BA	733.75	/BA	2,201
10-1040	Master Closet Systems	10	LF	500.00	/LF	5,000
10-1045	Other Closet Systems	2	EA	5,000.00	/EA	10,000
10-1046	Garage Cabs/Storage	4	LF	625.00	/LF	2,500
	SPECIALTIES		***GSF***		***/GSF***	***73,270***
11-00	**EQUIPMENT**					
11-1120	Appliances	8	EA	7,081.25	/EA	56,650
11-1122	Custom Hoods	1	EA	1,100.00	/EA	1,100
11-1125	Outdoor Appliances	3	LF	2,726.00	/LF	8,178
	EQUIPMENT		***GSF***		***/GSF***	***65,928***
12-00	**FURNISHINGS**					
12-1210	Furniture	2701	SF	10149	SF	274,125
	FURNISHINGS					***274,125***
13-00	**SPECIAL CONSTRUCTION**					
13-1345	Spas	1	EA	21,795	/EA	21,795
	SPECIAL CONSTRUCTION		***GSF***		***GSF***	***21,795***

		Takeoff Qty		Unit Cost		Amount
Item	Description	Quantity	UOM	Cost/Unit	UOM	Total
15-00	***MECHANICAL WORK***					
15-1510	Plumbing Systems	1	EA	18,610.00	/EA	18,610
15-1511	Plumbing Fixtures	64	EA	1,105.15	/EA	48,184
15-1512	Specialty Plumbing Fixtures	2	EA	11,272.85	/EA	22,546
15-1514	Radiant Heat Prep	1,216	SF	6.00	/SF	7,296
15-1515	Radiant/Hydronic Heat Systems	1,216	SF	15.21	/SF	18,500
15-1516	Snow Melt Prep	972	SF	0.98	/SF	960
15-1517	Snow Melt System	399	SF	8.23	/SF	3,284
15-1525	Water Treatment Systems	1	EA	2,750.00	/EA	2,750
15-1530	HVAC System & Controls	2,311	GSF	9.94	/GSF	22,980
15-1535	HVAC Peripherals	3	EA	250	/EA	750
15-1550	Fire Sprinklers	2,309	GSF	7.35	/GSF	16,970
	MECHANICAL WORK		***GSF***		***/GSF***	***162,830***
16-00	***ELECTRICAL***					
16-1610	Electrical System	2,798	GSF	8.00	/GSF	22,384
16-1611	Structural Lighting Package (can lighting)	2,193	FSF	10.00	/FSF	21,930
16-1612	Specialty Electrical Fixtures	2,193	FSF	1.5	/FSF	3,289
16-1613	Decorative Electrical Fixtures	2,193	FSF	3.00	/FSF	6,579
16-1614	Heat Trace/Cables/Mats	850	LF	3.56	/LF	3,026
16-1615	Sustainable Energy Source/Storage	1	LS	20,000.00	/LS	20,000
16-1620	Lighting System	1	LS	5,000.00	/LS	5,000
16-1625	Emergency Power System	1	EA	9500	EA	9,500
16-1630	Structured Wiring	2,193	FSF	2.27	/FSF	4,978
16-1635	Distributed A/V Systems	1	EA	11,500.00	/EA	11,500
16-1640	Security Systems	2,193	FSF	3.00	/FSF	6,579
16-1645	Motorized Shades	11	EA	350.00	/EA	3,850
	ELECTRICAL		***GSF***		***/GSF***	***118,615***

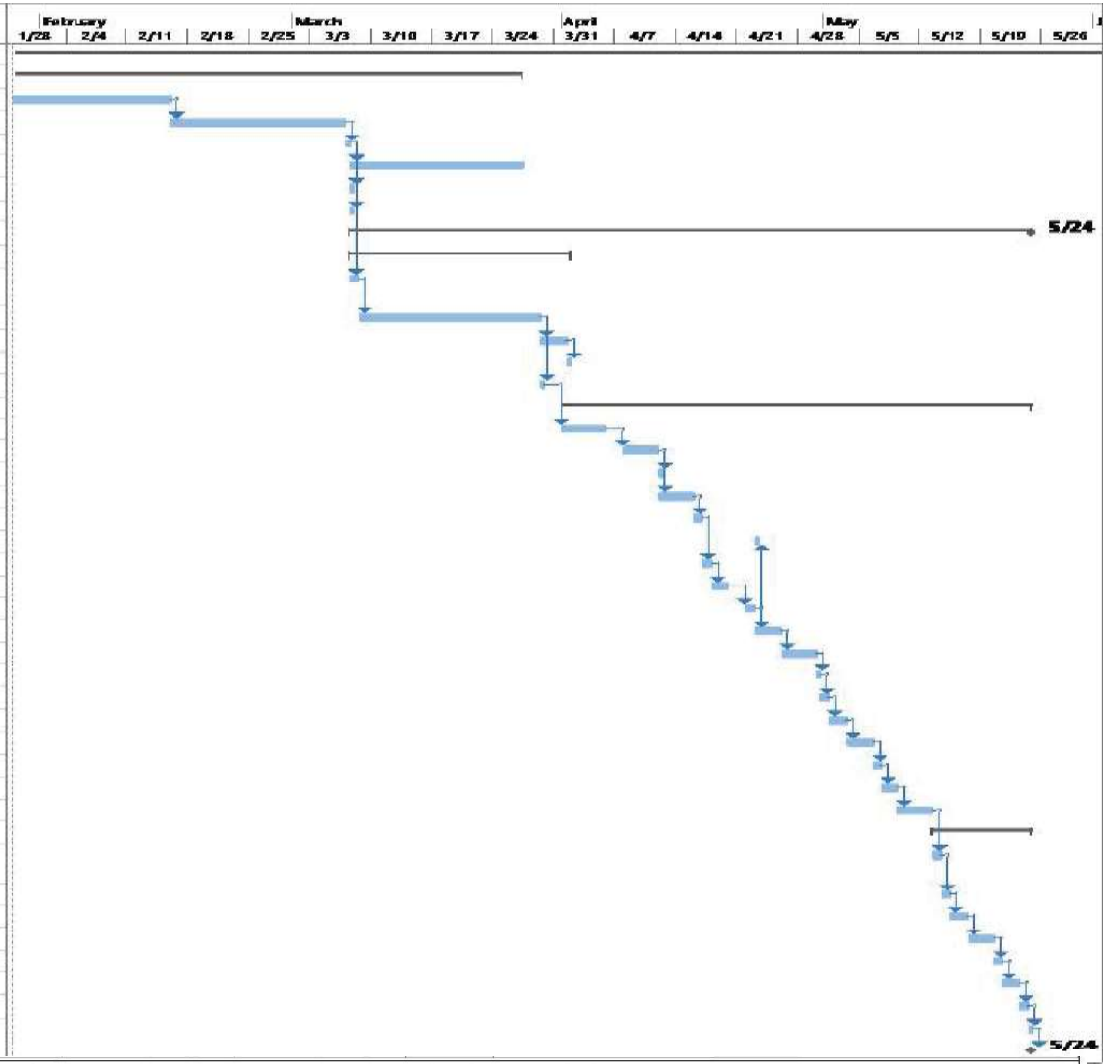
Total Before Over Head / Profit				***2,052,752***
		Overhead %15	Total	307,913
		Profit %7	Total	143,693
				Amount
	Total			***2,504,357***

Executive Summary for Schedules

Preconstruction will begin on **1/29/24** with a **premobilization of 42.5 days**. Construction will **begin on 4/1/24** and will **end on 11/5/24,** taking **218 working days**.

We have included provisions for **weekly supervision of progress** to ensure that contractors and sub-contractors **stay aware of project goals and changes**. Employees and sub-contractors are expected to **keep a clean job site** and **put trash and recyclables in their proper receptacles on-site**. Prior to completition and move-in, a **final walk through is performed** and **punch list items are taken care of**.

ID	Task Mode	Task Name	Duration	Start	Finish
1		10226 N LIV PL, Park City, Utah (lot 6	204.5 days	Mon 1/29/24	Fri 11/8/24
2		Pre-Construction Services	42.5 days	Mon 1/29/24	Wed 3/27/24
3		Pre Construction Permits Initial Su	14 days	Mon 1/29/24	Thu 2/15/24
4		Pre Construction Permits Resubmi	14 days	Fri 2/16/24	Wed 3/6/24
5		Obtain Building Permit	0.5 days	Thu 3/7/24	Thu 3/7/24
6		Samples and Deferred Submittals	14 days	Thu 3/7/24	Wed 3/27/24
7		Locate Utilities	0.5 days	Thu 3/7/24	Thu 3/7/24
8		Order Temporary Power	0.5 days	Thu 3/7/24	Thu 3/7/24
9		Site Prep / Excavation / Foundation	56.5 days	Thu 3/7/24	Fri 5/24/24
10		Earth Work	17.5 days	Thu 3/7/24	Mon 4/1/24
11		Site Survey (Stake Out Property / Foundation)	1 day	Thu 3/7/24	Fri 3/8/24
12		Set up SWPPP	15 days	Fri 3/8/24	Fri 3/29/24
13		Install Temporary Power	1 day	Fri 3/29/24	Mon 4/1/24
14		Inspection for temporary Powe	0.5 days	Mon 4/1/24	Mon 4/1/24
15		Inspection for SWPPP	0.5 days	Fri 3/29/24	Fri 3/29/24
16		Footings & Foundations	40 days	Mon 4/1/24	Fri 5/24/24
17		Excavation	5 days	Mon 4/1/24	Fri 4/5/24
18		Install Underground Utilities	4 days	Mon 4/8/24	Thu 4/11/24
19		Underground Utilities Inspectio	0.5 days	Fri 4/12/24	Fri 4/12/24
20		Install Footing Forms	2 days	Fri 4/12/24	Mon 4/15/24
21		Install Footing Rebar	1 day	Tue 4/16/24	Tue 4/16/24
22		Inspection for Footings	0.5 days	Tue 4/23/24	Tue 4/23/24
23		Pour Footing Concrete	1 day	Wed 4/17/24	Wed 4/17/24
24		Curing Time for Concrete	2 days	Thu 4/18/24	Fri 4/19/24
25		Strip Forms	1 day	Mon 4/22/24	Mon 4/22/24
26		Install Foundation Wall Forms	3 days	Tue 4/23/24	Thu 4/25/24
27		Install Foundation Wall Rebar	2 days	Fri 4/26/24	Mon 4/29/24
28		Inspection for Foundation Wall	0.5 days	Tue 4/30/24	Tue 4/30/24
29		Pour Foundation Walls	1 day	Tue 4/30/24	Wed 5/1/24
30		Curing time for Concrete	2 days	Wed 5/1/24	Fri 5/3/24
31		Strip Forms	1 day	Fri 5/3/24	Mon 5/6/24
32		Apply Tuf-N-Dri membrane	1 day	Mon 5/6/24	Tue 5/7/24
33		Install Drainage Board	2 days	Tue 5/7/24	Thu 5/9/24
34		Backfill and Rough Grade	2 days	Thu 5/9/24	Mon 5/13/24
35		Level 0 Floor Slab On Grade	9.5 days	Mon 5/13/24	Fri 5/24/24
36		Lay Aggregate Base and Compact Under Slab	1 day	Mon 5/13/24	Tue 5/14/24
37		Install Underslab Insulation	1 day	Tue 5/14/24	Wed 5/15/24
38		Install Radiant Heating	2 days	Wed 5/15/24	Fri 5/17/24
39		Install Slab Rebar	1 day	Fri 5/17/24	Mon 5/20/24
40		Pour Concrete	1 day	Mon 5/20/24	Tue 5/21/24
41		Curing Time for Concrete Slal	2 days	Tue 5/21/24	Thu 5/23/24
42		Cut Expansion Joints	1 day	Thu 5/23/24	Fri 5/24/24
43		Slab on Grade Inspection	0.5 days	Fri 5/24/24	Fri 5/24/24
44		Phase 1 Complete	0 days	Fri 5/24/24	Fri 5/24/24



Project: Schedule1
Date: Sun 12/17/23

Task
Split
Milestone
Summary
Project Summary
Inactive Task
Inactive Milestone
Inactive Summary
Manual Task
Duration-only
Manual Summary Rollup
Manual Summary
Start-only
Finish-only
External Tasks
External Milestone
Deadline
Progress
Manual Progress

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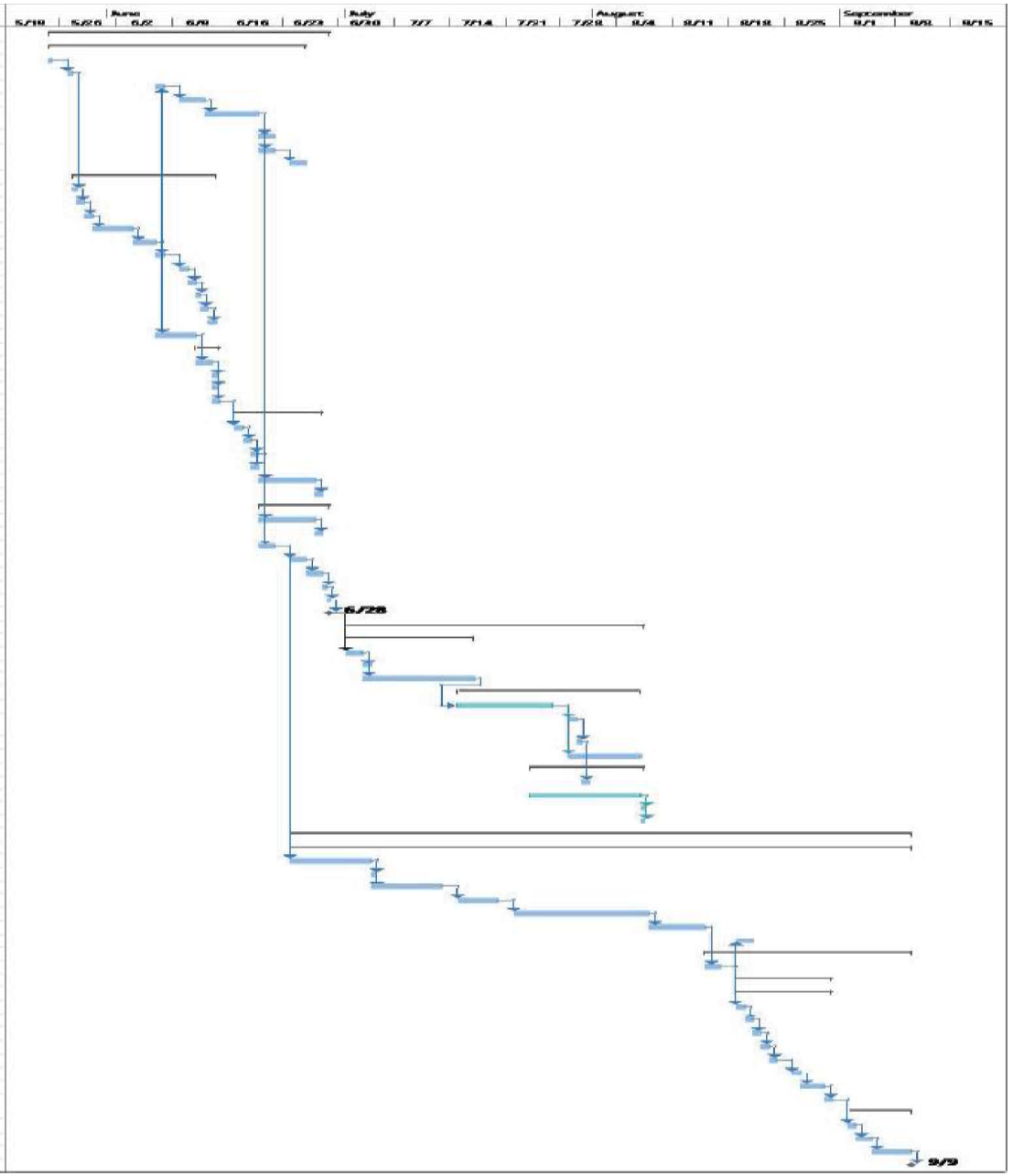
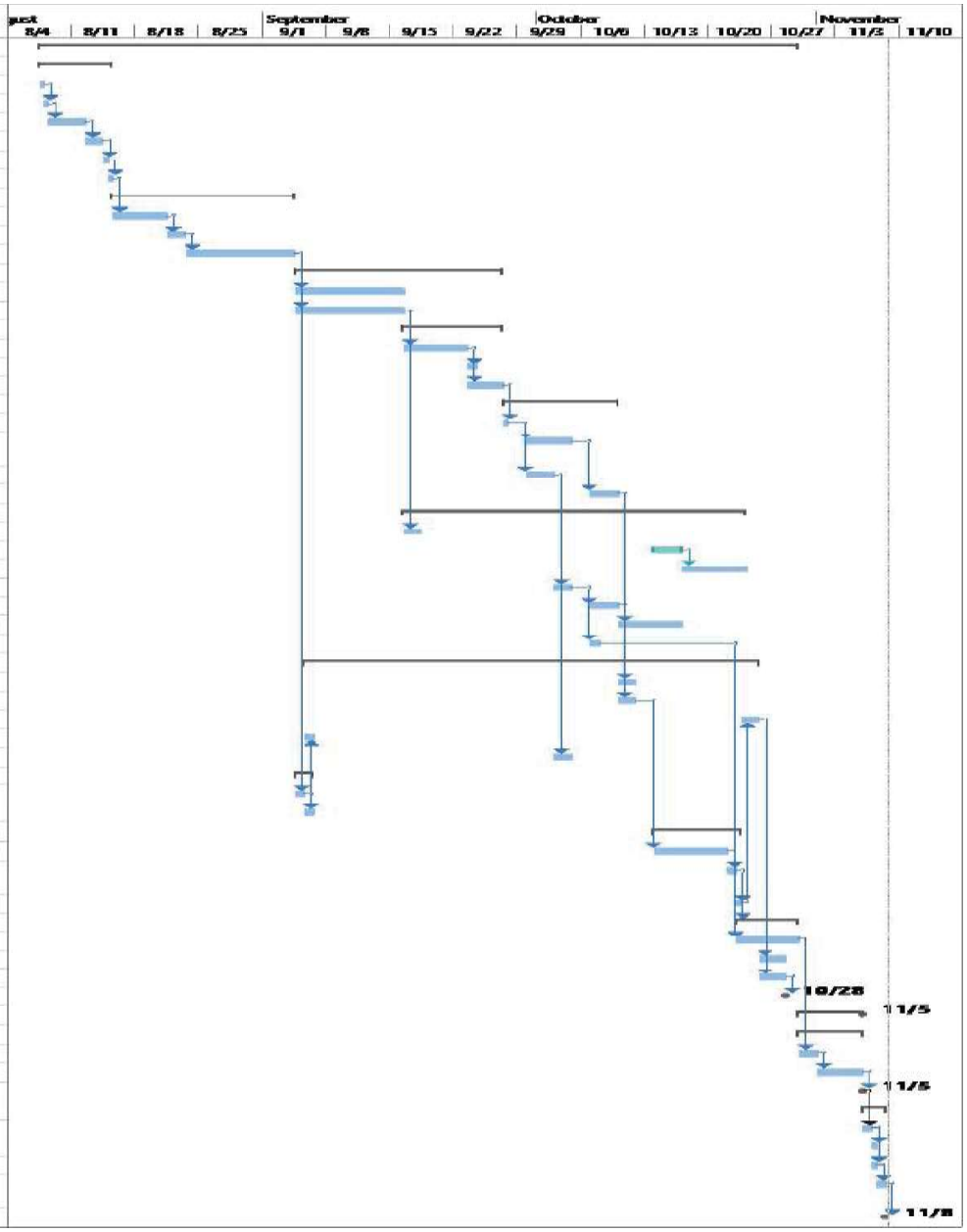
ID	Task Mode	Task Name	Duration	Start	Finish
45		Rough Structure	25.5 days	Fri 5/24/24	Fri 6/28/24
46		Exterior Wall Framing	22.5 days	Fri 5/24/24	Tue 6/25/24
47		Layout Exterior Level 0 Wall	0.5 days	Fri 5/24/24	Fri 5/24/24
48		Frame Level 0 Exterior Wall	0.5 days	Mon 5/27/24	Mon 5/27/24
49		Layout Level 1 Exterior Walls	1 day	Fri 6/7/24	Fri 6/7/24
50		Frame Level 1 Exterior Walls	8 days	Mon 6/10/24	Wed 6/12/24
51		Sheath Exterior Walls and Install House Wrap	5 days	Thu 6/13/24	Wed 6/19/24
52		Porch / Covered Patio Framing	2 days	Thu 6/20/24	Fri 6/21/24
53		Install 2 Girts 24" OC Horizontal	2 days	Thu 6/20/24	Fri 6/21/24
54		Install Rigid Insualtion	2 days	Mon 6/24/24	Tue 6/25/24
55		Interior Wall Framing / Structure	14 days	Mon 5/27/24	Fri 6/14/24
56		Know Melt Prep	0.5 days	Mon 5/27/24	Mon 5/27/24
57		Set Steel Posts	1 day	Tue 5/28/24	Tue 5/28/24
58		Layout Level 0 Interior Walls	1 day	Wed 5/29/24	Wed 5/29/24
59		Frame Level 0 Interior Walls	3 days	Thu 5/30/24	Mon 6/3/24
60		Set Floor System	3 days	Tue 6/4/24	Thu 6/6/24
61		Set Garage Pre Cast Beam	1 day	Fri 6/7/24	Fri 6/7/24
62		Forms for Garage Slab	1 day	Mon 6/10/24	Mon 6/10/24
63		Set Rebar For Garage Slab	1 day	Tue 6/11/24	Tue 6/11/24
64		Suspended Slab Inspection	0.5 days	Wed 6/12/24	Wed 6/12/24
65		Pour Suspended Slab	1 day	Wed 6/12/24	Thu 6/13/24
66		Curing Time For Garage Slab	1 day	Thu 6/13/24	Fri 6/14/24
67		Frame Level 1 Interior Walls	3 days	Fri 6/7/24	Tue 6/11/24
68		Roof Framing	3 days	Wed 6/12/24	Fri 6/14/24
69		Install Sips Panels	2 days	Wed 6/12/24	Thu 6/13/24
70		Install Temporary Posts	0.5 days	Fri 6/14/24	Fri 6/14/24
71		Truss Bracing	0.5 days	Fri 6/14/24	Fri 6/14/24
72		Install Sub-Fascia	1 day	Fri 6/14/24	Fri 6/14/24
73		Roof Material Install	9 days	Mon 6/17/24	Thu 6/27/24
74		Install Underlayment	1 day	Mon 6/17/24	Mon 6/17/24
75		Install Roof Flashing	1 day	Tue 6/18/24	Tue 6/18/24
76		Install Facia	1 day	Wed 6/19/24	Wed 6/19/24
77		Install Roof Insulation	1 day	Wed 6/19/24	Wed 6/19/24
78		Install Metal Roof	5 days	Thu 6/20/24	Wed 6/26/24
79		Install Chimney Cap	1 day	Thu 6/27/24	Thu 6/27/24
80		Exterior Windows and Doors	7 days	Thu 6/20/24	Fri 6/28/24
81		Install Exterior Windows	5 days	Thu 6/20/24	Wed 6/26/24
82		Flash Exterior Windows	1 day	Thu 6/27/24	Thu 6/27/24
83		Install Exterior Doors	2 days	Thu 6/20/24	Fri 6/21/24
84		Paint Exterior Doors	2 days	Mon 6/24/24	Tue 6/25/24
85		Install Exterior Door Hardware	2 days	Wed 6/26/24	Thu 6/27/24
86		Snow Melt Prep	0.5 days	Fri 6/28/24	Fri 6/28/24
87		Framing / Sheer Wall Inspection	0.5 days	Fri 6/28/24	Fri 6/28/24
88		Phase 2 Complete	0 days	Fri 6/28/24	Fri 6/28/24
89		Mechanical	27.5 days	Mon 7/1/24	Wed 8/7/24
90		HVAC Rough-In	12 days	Mon 7/1/24	Tue 7/16/24
91		Install Furnace & Air Conditioner	2 days	Mon 7/1/24	Tue 7/2/24
92		Rough-In Fireplace	1 day	Wed 7/3/24	Wed 7/3/24
93		Rough-In HVAC	10 days	Wed 7/3/24	Tue 7/16/24
94		Plumbing Rough-In	17 days	Mon 7/15/24	Tue 8/6/24
95		Rough-In Plumbing	10 days	Mon 7/15/24	Fri 7/26/24
96		Place Shower and Tub Pans in Bathrooms	1 day	Mon 7/29/24	Mon 7/29/24
97		Shower Pan Inspection	0.5 days	Tue 7/30/24	Tue 7/30/24
98		Fire Sprinklers Roush In	7 days	Mon 7/29/24	Tue 8/6/24
99		Electrical Rough-In	10.5 days	Wed 7/24/24	Wed 8/7/24
100		Electrical Walk-Through	1 day	Tue 7/30/24	Wed 7/31/24
101		Electrical Rough-In	10 days	Wed 7/24/24	Tue 8/6/24
102		MEP and Fire Sprinkler Inspection	0.5 days	Wed 8/7/24	Wed 8/7/24
103		4 Way Inspection	0.5 days	Wed 8/7/24	Wed 8/7/24
104		Exterior Finishes	56 days	Mon 6/24/24	Mon 9/9/24
105		Exterior Finish / Trim	56 days	Mon 6/24/24	Mon 9/9/24
106		Install Exterior Stone	8 days	Mon 6/24/24	Wed 7/3/24
107		Stone Lap Inspection	0.5 days	Thu 7/4/24	Thu 7/4/24
108		Install Exterior Soffit	7 days	Thu 7/4/24	Fri 7/12/24
109		Install Window and Door Trim	5 days	Mon 7/15/24	Fri 7/19/24
110		Install Wood siding	13 days	Mon 7/22/24	Wed 8/7/24
111		Stain Siding / Soffit	5 days	Thu 8/8/24	Wed 8/14/24
112		Install Wood Facia	2 days	Mon 8/19/24	Tue 8/20/24
113		Gutters & Collection Boxes	18 days	Thu 8/15/24	Mon 9/9/24
114		Install Gutters and Downspouts	2 days	Thu 8/15/24	Fri 8/16/24
115		Exterior Flatwork	10 days	Mon 8/19/24	Fri 8/30/24
116		Patios / Driveway	10 days	Mon 8/19/24	Fri 8/30/24
117		Excavate	1 day	Mon 8/19/24	Mon 8/19/24
118		Lay Rock Base and Compact	1 day	Tue 8/20/24	Tue 8/20/24
119		Install Forms	1 day	Wed 8/21/24	Wed 8/21/24
120		Install Rebar	1 day	Thu 8/22/24	Thu 8/22/24
121		Pour Concrete	1 day	Fri 8/23/24	Fri 8/23/24
122		Strip Forms	1 day	Mon 8/26/24	Mon 8/26/24
123		Curing Time	3 days	Tue 8/27/24	Thu 8/29/24
124		Install Hot Tub	1 day	Fri 8/30/24	Fri 8/30/24
125		Landscaping	6 days	Mon 9/2/24	Mon 9/9/24
126		Rough Grade	1 day	Mon 9/2/24	Mon 9/2/24
127		Final Grade	2 days	Tue 9/3/24	Wed 9/4/24
128		Lay Sod	3 days	Thu 9/5/24	Mon 9/9/24
129		Phase 3 Complete	0 days	Mon 9/9/24	Mon 9/9/24



ID	Task Mode	Task Name	Duration	Start	Finish
130		Interior Finishes	59.5 days	Wed 8/7/24	Tue 10/29/24
131		Insulation	6 days	Wed 8/7/24	Thu 8/15/24
132		Install Soffit Baffles	0.5 days	Wed 8/7/24	Wed 8/7/24
133		Plastic Off Windows and Doors	0.5 days	Thu 8/8/24	Thu 8/8/24
134		Spray Foam Wall Cavities	2 days	Thu 8/8/24	Mon 8/12/24
135		Spray Foam Truss Cavities	2 days	Mon 8/12/24	Wed 8/14/24
136		Scrape Studs / Clean Up	0.5 days	Wed 8/14/24	Wed 8/14/24
137		Insulation Inspection	0.5 days	Thu 8/15/24	Thu 8/15/24
138		Drywall	14 days	Thu 8/15/24	Wed 9/4/24
139		Hang Drywall	4 days	Thu 8/15/24	Wed 8/21/24
140		Install Drywall Corners	2 days	Wed 8/21/24	Fri 8/23/24
141		Mud / Tape / Sand / Texture	8 days	Fri 8/23/24	Wed 9/4/24
142		Wall & Ceiling Finishes	17 days	Wed 9/4/24	Fri 9/27/24
143		Interior Stone / Tile Work	8 days	Wed 9/4/24	Mon 9/16/24
144		Prime and Paint	8 days	Wed 9/4/24	Mon 9/16/24
145		Floor Coverings	9 days	Mon 9/16/24	Fri 9/27/24
146		Install Ceramic Tile	5 days	Mon 9/16/24	Mon 9/23/24
147		Install Carpet Pad	1 day	Mon 9/23/24	Tue 9/24/24
148		Install Carpet	4 days	Mon 9/23/24	Fri 9/27/24
149		Cabinets & Vanity	8.5 days	Fri 9/27/24	Wed 10/9/24
150		Install Plastic Floor Coverings	0.5 days	Fri 9/27/24	Fri 9/27/24
151		Install Kitchen Cabinets / Bathroom Vanities	5 days	Mon 9/30/24	Fri 10/4/24
152		Install Closet Systems	3 days	Mon 9/30/24	Wed 10/2/24
153		Install Kitchen / Bathroom Cour	3 days	Mon 10/7/24	Wed 10/9/24
154		Trim Work	27.5 days	Mon 9/16/24	Wed 10/23/24
155		Install Owners Suite Ceiling	2 days	Mon 9/16/24	Wed 9/18/24
156		Paint Interior Doors	3 days	Mon 10/14/24	Wed 10/16/24
157		Paint / Stain Trim	5 days	Thu 10/17/24	Wed 10/23/24
158		Install All Interior Doors	2 days	Thu 10/3/24	Fri 10/4/24
159		Install Door Casing	3 days	Mon 10/7/24	Wed 10/9/24
160		Install Baseboards	5 days	Thu 10/10/24	Wed 10/16/24
161		Install Interior Door Hardware	1 day	Mon 10/7/24	Mon 10/7/24
162		Misc. Interior Finishes	36 days	Thu 9/5/24	Fri 10/25/24
163		Install Plumbing Hardware& Fix	2 days	Thu 10/10/24	Fri 10/11/24
164		Install Mirrors	2 days	Thu 10/10/24	Fri 10/11/24
165		Epox Floor Install	2 days	Wed 10/23/24	Fri 10/25/24
166		Install Plinth	1 day	Thu 9/5/24	Fri 9/6/24
167		Install All Cabinets and Misc. Ha	2 days	Thu 10/3/24	Fri 10/4/24
168		HVAC Finish Work	2 days	Wed 9/4/24	Fri 9/6/24
169		Install Fireplace	1 day	Wed 9/4/24	Thu 9/5/24
170		Install HVAC Finishes	1 day	Thu 9/5/24	Fri 9/6/24
171		Electrical Finish Work	7.5 days	Mon 10/14/24	Wed 10/23/24
172		Install Electrical Hardware & Fix	6 days	Mon 10/14/24	Mon 10/21/24
173		Install Smoke / Caron Monoxide Detectors	1 day	Tue 10/22/24	Tue 10/22/24
174		Inspection For Final MEP's	0.5 days	Wed 10/23/24	Wed 10/23/24
175		Appliances Install	5 days	Wed 10/23/24	Tue 10/29/24
176		Install Appliances	5 days	Wed 10/23/24	Tue 10/29/24
177		Install Bike and Ski Racks	1 day	Fri 10/25/24	Mon 10/28/24
178		Install Garage Lockers	1 day	Fri 10/25/24	Mon 10/28/24
179		Phase 4 Complete	0 days	Mon 10/28/24	Mon 10/28/24
180		Final Details	5 days	Wed 10/30/24	Tue 11/5/24
181		Punchlist / Final Walkthrough	5 days	Wed 10/30/24	Tue 11/5/24
182		Drywall and Paint Touch Up	2 days	Wed 10/30/24	Thu 10/31/24
183		Final Cleanup for Occupancy	3 days	Fri 11/1/24	Tue 11/5/24
184		Phase 5 Complete	0 days	Tue 11/5/24	Tue 11/5/24
185		Final Services	2.5 days	Wed 11/6/24	Fri 11/8/24
186		HERS Testing	1 day	Wed 11/6/24	Wed 11/6/24
187		Wildland urban Interface Inspecti	0.5 days	Thu 11/7/24	Thu 11/7/24
188		Final Inspection	0.5 days	Thu 11/7/24	Thu 11/7/24
189		Key Turnover to Owners and Final Walk Through	1 day	Thu 11/7/24	Fri 11/8/24
190		Phase 6 Complete	0 days	Fri 11/8/24	Fri 11/8/24



Procurement Schedule

Procurement Schedule - 10226 N LIV PL, Park City, Utah (lot C-07)				
Tasks	**Description**	**Lead time (Calender Days)**	**Order Date**	**Delivery Date**
NAHB Requested Items (*)				
BUILDING PERMIT				
	Wasatch County Building Department	14 days	2/22/2024	3/7/2024
SITE PREP				
Dumpster	Waste Connections, 15 YD	7 days	3/25/2024	4/1/2024
On-site Restroom		30 days	3/1/2024	4/1/2024
CONCRETE				
Concrete	Isolated Footings and Foundation	7 days	3/25/2024	4/1/2024
Concrete	Interior flatwork	7 days	5/6/2024	5/13/2024
Concrete	Exterior flatwork	7 days	8/12/2024	8/19/2024
ROUGH CARPENTRY				
Lumber exterior	Standard Framing Material	1 days	5/23/2024	5/24/2024
Lumber interior	Standard Framing Material	1 days	5/26/2024	5/27/2024
STRUCTURAL STEEL				
Steel	Steel embed plates and Structural Posts	14(days	1/9/2024	5/28/2024
Steel	Stair Beams	14(days	1/9/2024	5/28/2024
Steel	Patio Supports	14(days	1/9/2024	5/28/2024
PLUMBING				
Plumbing fixtures	Kallista Plumbing Fixtures	14 days	10/2/2024	10/16/2024
Spa	Bullfrog Spa Model R8L	28 days	8/2/2024	8/30/2024
ROOFING				
Roof Framing	Heavy timber and SIPS panels	60 days	4/11/2024	6/12/2024
Roofing material	Metal Sheet Batten Seam Roofing, MCBI, Burnished Slate, Craftsman Series SB	60 days	4/18/2024	6/19/2024
WINDOWS & EXTERIOR DOORS				
Garage door	Selected by Customer	84 days	3/28/2024	6/20/2024
Windows	Marvin Windows	63 days	4/18/2024	6/20/2024
ELECTRICAL				
Electrical fixtures interior/exterior	Outlets, Switches, Lights, Communications and All Specialty Items	14 days	10/4/2024	10/18/2024
Electrical finishes	Carbon Monoxide Detectors	14 days	10/14/2024	10/28/2024
HVAC				
HVAC	Gas Furnace & Air Conditioner	7 days	6/24/2024	7/1/2024
HVAC	Rough-In Fireplace	7 days	6/26/2024	7/3/2024
SIDING & SOFFITS				
Siding material	Cedar shiplap	60 days	5/23/2024	7/22/2024

Procurement Schedule - 10226 N LIV PL, Park City, Utah (lot C-07)				
Tasks	**Description**	**Lead time (Calender Days)**	**Order Date**	**Delivery Date**
NAHB Requested Items (*)				
MASONRY				
Exterior Stone	Stone Veneer	50 days	5/7/2024	6/24/2024
Interior Stone	Stone Veneer	50 days	6/22/2024	9/10/2024
INSULATION				
Exterior Insulation	R-5 Continous Insulation	14 Days	6/10/2024	6/24/2024
Interior Insulation	R-20 Interior Spray Foam	14 Days	7/30/2024	8/13/2024
DRYWALL	1/2" and 5/8" Sheet Rock	7 days	8/14/2024	8/21/2024
FINISH CARPENTY				
Interior Doors	Quartered white oak	30 Days	9/9/2024	10/9/2024
Base trim, Casing	Stained Cedar	60 days	8/12/2024	10/11/2024
FIREPLACE				
Interior fireplace	Montigo Model HL42DF	7 days	9/3/2024	9/10/2024
CABINETY & COUNTERTOPS				
Cabinets	Omega Cabinets	56 days	8/9/2024	10/4/2024
Countertops	Stone Countertops selectedby customer	14 days	9/27/2024	10/11/2024
SHELVING				
Shelving	Selected By Customer	14 days	9/20/2024	10/4/2024
FLOORING				
Flooring	Ceramic tile	25 days	8/26/2024	9/20/2024
Flooring	Carpet	21 days	9/6/2024	9/27/2024
GUTTERS				
	Pre-finished aluminum	18 days	7/26/2024	8/15/2024
PAINT				
Exterior	Mountain Ash SW 3540 Sherman Williams	7 days	9/3/2024	9/10/2024
Interior	Selected by Owner	7 days	8/27/2024	9/4/2024
APPLIANCE				
Appliances	Gaggenau	150 days	5/30/2024	10/29/2024
FURNITURE				
	Selected by Customer	56 days	8/28/2024	10/23/2024
LANDSCAPING				
	Selected by Customer	35 days	7/29/2024	9/2/2024

Construction Management: SWPPP

SWPPP (**S**torm **W**ater **P**ollution **P**revention **P**lan) practices on residential job sites are of the utmost importance for several reasons. These practices **help prevent stormwater pollution** by effectively managing the runoff generated during construction activities. By **implementing erosion control measures**, **managing sediment**, and **properly containing pollutants**, SWPPP practices help **protect local water bodies and ecosystems from contamination**. By adhering to SWPPP guidelines, residential construction sites can ensure **compliance with environmental regulations** and **avoid potential fines or penalties**. Since this project is based in Utah, SWPPP practices are required by law to be implemented. **Eagle Construction** will do its part and **incorporate these practices into our work** on the Velvaere property in order to contribute to the **preservation of natural resources**, **safeguard water quality**, and **promote environmental responsibility**. **Below are some of the best and most**

- Limit land disturbance
- Preserve natural vegetation
- Increase water infiltration
- Use man-made erosion controls
- Grade slopes to reduce runoff coefficient
- Use downspouts and swales to redirect stormwater
- Capture sediment laden water
- Use storm drain filters and protection
- Eliminate curbs and gutters until construction has been completed
- Create special bays for vehicle washouts
- Properly store and cover materials
- Train employees and subcontractors on procedures
- Conduct frequent inspections
- Hire qualified personnel to draft a SWPPP
- Stabilize workzones after work has ceased

Construction Management: Inspections

Inspection Statement: Our building inspections will be applied for **in advance by a week** to make for the least downtime while waiting for the inspection. The current average waiting times for inspections are around 2-3 days in Wasatch County, so a week will give plenty of time. For inspections, **1 Project manager will be present during inspections with the inspector**. **SWPPP Permits** in Wasatch County are **valid for 1 year** so we plan to only apply for one. **Listed below are the required inspections for this project.**

List of Required Inspections:
SWPPP Inspection
Footings and Foundations Inspection
Slab on grade Inspection
Suspended Slab Inspection
Underground Plumbing, Mechanical, and Electric Inspection
Truss package review
Exterior and interior sheer wall Inspection
Stone lap Inspection
4 way lower and main level broken into levels
Gas line test and schematic inspection
Fire sprinkler rough in inspection
Insulation inspection
Shower pan inspection
Permanent power inspection
Hydo tubing inspection
Fire sprinkler final inspection
Wildland Urban Interface inspection: Done by the fire department
Final Inspection

Applied for through the Wasatch County website with all required submittals. These submittals required consist of the following:
Complete plans, Site plan, Engineering structural plans, Gas line schematics, Manual J & D Heat loss calculations, ResCheck, Propane application, Wildland Hazard Severity Form, Landscape plan, ICC Evaluation reports, Bid/Cost of construction, Fireplace Specifications, soils report, HOA, Plan Review response, Fire Sprinkler plans, Septic Permit Letter.

Construction Management: Safety Management Plan

Safety Plan Goal: Provide a safe workplace for all personnel on the job site.

As a company, Eagle Construction has made it a **priority** to do the very best we can at making sure **all persons** on the job site are **being safe at all times**. We want to see everybody go home at the end of the day in the same condition they arrived in. We strive to be **as safe and productive as possible**. These goals require our team to **follow each and every rule** and **take all precautions very seriously**. All employees are provided the **necessary training** and are **encouraged to ask management questions any time** they are in doubt or are questioning their safety or the safety of another employee. **Failure to follow the safety plan and rules may result in serious injury.**

Responsibilities of Management:

- Provide and ensure all employees have been given proper training and PPE.
- Inspect job site for violations of safety plan/protocols.
- Shut down jobs that have safety violations.
- Enforce safety policies.
- Create disciplinary actions for policy infractions.
- Prepare accident reports.

Responsibilities of Employees:

- Receive proper training for jobs.
- Follow the rules and guidelines of the job site safety plan.
- Wear PPE when required.
- Report unsafe conditions.
- Attend safety meetings.
- Maintain equipment and report broken or malfunctioning equipment.
- Maintain a clean and organized job site.
- Know the site address in case of emergency

Safety Management Plan Continued

In order for employees and management to be able to uphold their responsibilities, we will be using the **NAHB Safety 365 safety program**. As a company, we will make sure each employee is **familiar with the materials in this program**. We will hold **safety meetings every morning** to go over the possible hazards that could happen that day. The **Toolbox Talks** pertaining to the phase of the project that is being performed will be **reviewed before each phase begins**. **Weekly safety review meetings** will also happen where **employees will share their safe and unsafe moments** throughout the week and will be **given a chance to speak to management about unsafe conditions**. To be prepared for any potential emergency, **all employees will be briefed on the location of the local police, fire departments, and hospitals**.

Before work is started on the home, a **map of all possible hazardous areas and safety equipment will be made** and posted at the job site for all subcontractors to review before starting work. This map will include items such as live electricity, fire extinguishers, first aid kits, utility locations, and property lines. The **NAHB safety Toolbox Talks** will also be **posted to the safety map** in the form of a **QR code** for all personnel on the job site to have easy access to. There will also be **stickers with the same QR code given to the subcontractors** for them to put on their hard hats and equipment. **First responders will be given a copy of this map** as well as taken on-site for a tour to help make them more aware of the site and have better response times in case of emergency.

QR Code to the NAHB Toolbox Talks

Lastly, along with the QR code to the NAHB Toolbox Talks, we will also be providing another QR code. This **QR code** will be for **all job site personnel** to scan and will take you to the **new NAHB safety app** that is being **released in February at the International Builders Show**. This app will allow us to ensure that **every employee has the safety plan and information** they need right in their back pocket everywhere they go. **With this app, any safety questions will be able to be answered in a few clicks from the job site!**

Construction Management: Local HBA

Listed here are the board members and directors that make up the HBA in the project location of Park City, Utah.

President: Jenn Lewis
Works For: Ghigau Construction
First VP: Parker Loomis
Works For: Loomis Construction
Second VP: Brandon Hicks
Works For: Magleby Construction
Associate VP: Amanda Trickett
Works For: Closet Factory
Associate VP: Danny Moreno
Works For: Audio Video Systems
Secretary: Steve Norr
Works For: Peppertree Kitchen & Bath
Treasurer: Rob Jibson
Works For: Zions Bank
Executive Officer: Alicia Ackerman
Works For: Park City Area HBA

Builder Directors:
Aaron Blanco: High Country Homes
Amy Herold: Hibbs Homes
Joe Witt: Joe Witt Construction
Tami Ostmark: Hamlet Homes

Associate Directors:
Alan Whetton
Ali Roberts: Alison Ann Interiors
Sue Slaugh: Kip Slaugh Associates
Zach Thompson: Jewkes Design

Acknowledgements

None of this would have been possible without the support of these organizations. Thank you to all who helped Eagle Construction make it this far.

The Greater Iowa City Area HBA
Home Builders Association

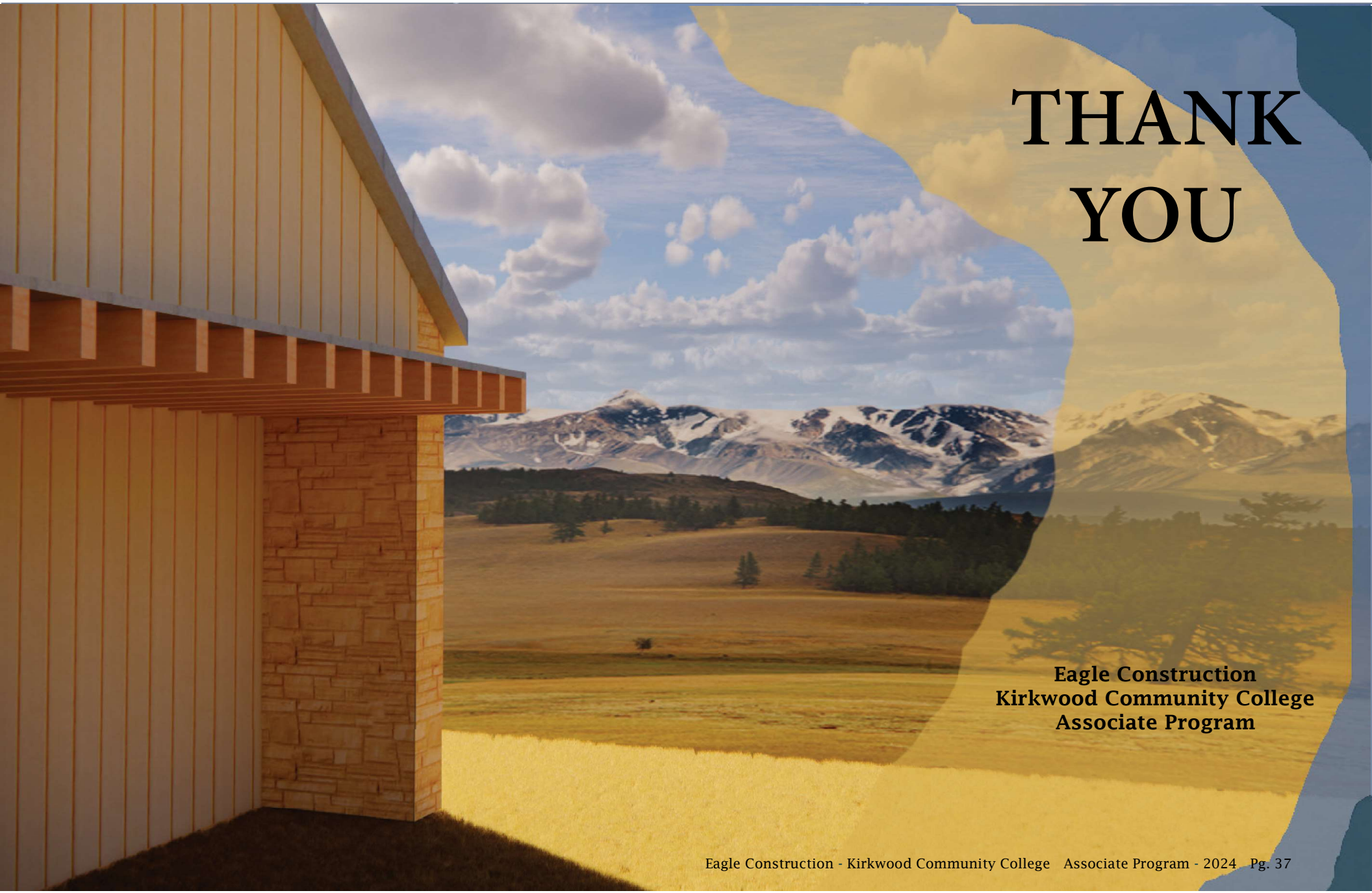
NAHB National Association of Home Builders

Kirkwood Community College

• building our community •

Greater Cedar Rapids Housing & Building Association

McCreedy Ruth Construction, Suburban Lumber, Kuenster Heating and Plumbing, Suppels Siding and Remodeling, Grout Electric, Weldon Drywall, Studio H2O, Cedar Rapids HBA, Delaney Concrete Construction, Lynches Excavating, Kitchens By Design, Continental Fire Sprinkler Company, and more!


THANK
YOU
Eagle Construction
Kirkwood Community College
Associate Program

NAHB National Association of Home Builders | Student Chapters

NAHB Student Competition
Associate Degree Programs
Honor Pledge

To the best of my knowledge and belief, the information used in my team's solution to the competition is in accordance with the rules and guidelines of the NAHB Student Competition. On my honor, I have neither given nor received unauthorized assistance in the completion of this project.

Team (School) Name: Kirkwood Community College

Team Members:

Print Name	Signature
Tyson Belk	Tyson Belk
Kenneth Dykes-Rankin	Kenneth Dykes-Rankin
Nick Dykstra	Nick Dykstra
Marshall Nieland	Marshall Nieland
Adrianna Zweibohmer	Adrianna Zweibohmer

Alternate Members (Optional):

Print Name	Signature
Samantha Ross	Samantha Ross

Faculty Advisor/Coach:

Print Name	Signature
David J. Becicka	David J. Becicka

This form is REQUIRED. Submit one (1) copy per team within your proposal submission.