



APEX
CONTRACTORS

“SOARING ABOVE YOUR EXPECTATIONS”



Table of Contents

COMPANY PROFILE

Our Mission
Who We Are

MANAGEMENT PLAN

DRAWINGS

Working Drawings

ESTIMATE

Material & Labor Estimate
Finish Materials **Price Sheets**

SCHEDULE

MISCELLANEOUS

Honor Pledge
Similar Homes

10226 N LIV PL,
Park City, Utah





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COMPANY PROFILE



December 2023

Student Chapter
National Association of Home Builders
NAHB Student Competition
Re: Bid proposal for management project & proposal
Velvaera, a Magleby Development
Park City, Utah

Dear Members of the Judging Panel:

Apex Contractors is excited to announce its design/estimating bid for the proposed National Association of Home Builders project in Park City, Utah.

Apex Contractors offers a variety of advantages that other companies can't match. We work with various NDSCS programs such as the Electrical Technology and the HVACR Technology to assemble allowances for the specific estimate. Our company ensures every part of the construction process under one roof which allows us to have direct communication with our whole team.

On September 2023, Apex Contractors reviewed the packet of documents and began to split the team up into three parts. As a team, we discussed and worked effectively to review the project scope to get an understanding of what needs to be done for this project. We then divided the project into three categories and started the work.

The three part categories helped us to work efficiently and to conduct work in an orderly time fashion. With the help from industry professionals such as our local HBA, and the NDSCS program instructors.

In conclusion, we have provided a complete set of working drawings, a labor/materials estimate, and a construction schedule. We gained real-world work experience and got an overall scope into the professional industry world.

Thank you for the opportunity to present our proposal. Any questions that you have can be answered during our presentation time.

Sincerely,
NDSCS's Apex Contractors



10226 N LIV PL,
Park City, Utah



Who Are We?



Glen Erickson

3rd Year Construction
Management Student

Lead Estimator

Logan Prochnow

3rd Year Construction
Management Student

Project Manager



10226 N LIV PL,
Park City, Utah





Emily Schmidt

2nd Year Architectural
Modeling & Design

Drafter

David Hartung

2nd Year Architectural
Modeling & Design

Drafter



10226 N LIV PL,
Park City, Utah





Mikaela Prochnow

1st Year Architectural
Modeling & Design

Assistant Drafter

Chloe Lawrence

1st Year Architectural
Modeling & Design

Design Assistant



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MANAGEMENT PLAN

Construction Management Plan:

Trade Partner Selection --

- Apex Contractors will select a certified contractor based on certain qualities that best match our companies' morals and values. Our trade partner selection will be based on these key things:
 - o Safety procedures & history
 - o Past Projects & Performance Ratings
 - o Company Reputation & Culture
 - o Communication
 - o Adequate Staffing, Manpower, and Equipment (Quality Personnel)
- Once the above requirements are considered, the Trade Partner Selection process will then be awarded to the lowest bid. ALL requirements must be met to receive a valid contract, if not, the next lowest bidder and certified contractor will be selected.

Material Procurement & Management --

- Materials will be delivered to Jobsite in accordance with the progress of the building.
- Once delivered, they will be sorted by the Apex Contractors field crew into piles, keeping in mind the order of installation.
 - o ALL items will be stored outside. Materials will have the ability to be tarped to maintain quality of product and shield weather acts like rain, etc.
- Refer to schedule for information on when to order material
 - o Material should be delivered one week before estimated installation but no earlier than 3 weeks before install.
- All material handling will be documented to ensure accuracy of delivery and bookkeeping.
- Material Delivery will be documented with a checklist -
 - o Item checklist points will include:
 - Date Delivered
 - What company delivered the material? Name of driver?
 - Quality assurance (Make sure material is in premium condition and that it's the correct material/dimension)
 - Picture taken of delivered material.
 - Quantity Check

* All invoices of delivered material will be scanned and placed into a digital & hard copy filing systems*

Building Inspections --

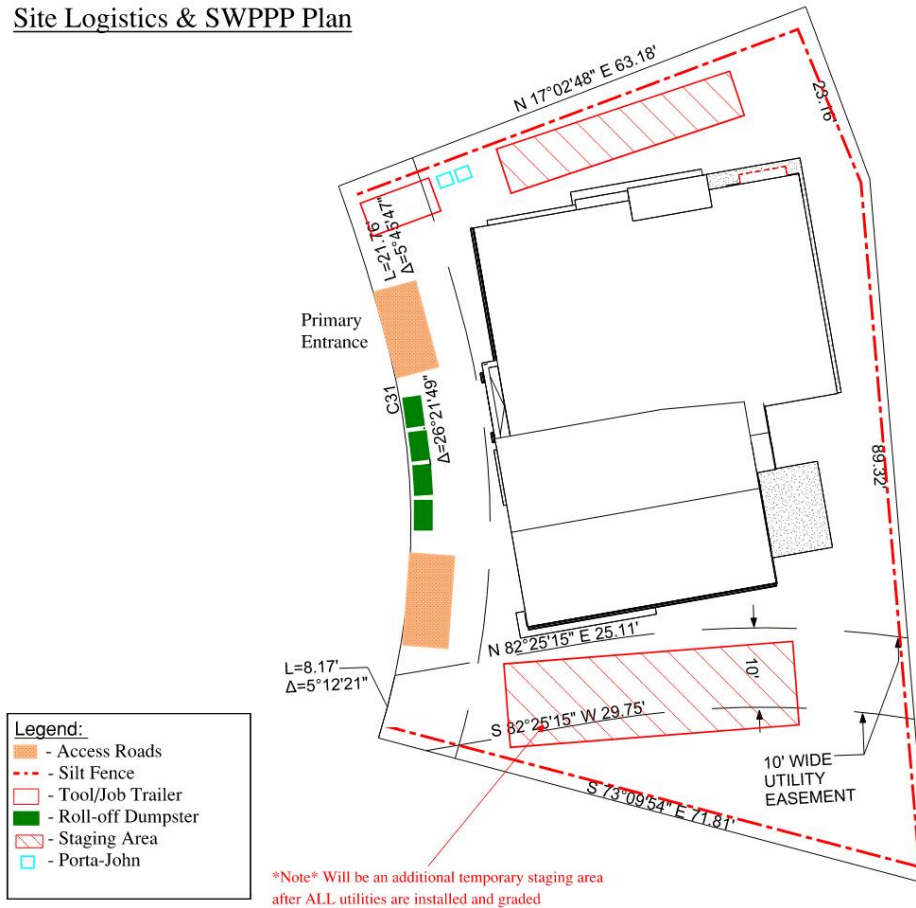
- Building inspections will be coordinated as trades are being installed.
- Inspections will be documented by the lead superintendent and placed into the filing system.
 - o Date Conducted
 - o Inspection Agency
 - o What was inspected? Who was the inspector?
 - o Inspection Reports signed, sealed, and noted if passed or failed.
- Required trades to be inspected per Utah Building Code (2021 IBC):
 - o Footing inspection – **Tentatively (5/2/2024)**
 - o Foundation inspection – **Tentatively (5/27/2024)**
 - o Basement Slab Inspection -- **Tentatively (7/2/2024)**
 - o Underground inspection -- **Tentatively (6/28/2024)**
 - o Framing inspection -- **Tentatively (10/15/2024)**
 - o Utility Rough-Ins (Plumbing, Mechanical, Electrical, etc) – **Tentatively (10/15/2024)**
 - o Vapor Barrier Inspection – **Tentatively (10/24/2024)**
 - o Special inspections – **Tentatively (1/7/2024)**
 - o Final inspection -- **Tentatively (1/7/2024)**

Framing inspections cannot happen until have Electrical and Mechanical Rough-Ins are completed

SWPPP & Site Logistics Plan:

- Silt fence to be installed around site
- When sitework is completed, a 1% slope towards silt fence
- Finish Grade shall slope a minimum of 6 inches in the first 10 feet away from the building
- To increase security, cameras will be present on site
- After weather conditions occur during construction, documentation will take place in an excel spreadsheet to keep accurate records of site conditions. Items to be documented will include:
 - o Date Weather Occurred
 - o Amount of Precipitation
 - o Signature of Inspector

Site Logistics & SWPPP Plan



Implementation of Sustainable features:

- Divert recyclable items from landfill
- Haul Concrete waste to a crushing site
- 3 – 10-yard dumpsters will always be on site, for recycling purposes
 - o Dumpster Uses – Metal, Wood, & Common construction waste
- Nightly site walkthroughs to ensure lights and power is off
- To reduce material waste, ensure material measurements are correct – Measure twice, Cut once
- Main Goal – Recycle & Reduce Waste as much as possible

Safety Management Plan:

- Trench boxes used for utility excavation
- Safety Glasses to be worn at all times
- Hard Hats are Mandatory
- High Visibility clothing is required
- Mandatory Morning Safety Meetings
 - o Everyone at meeting required to sign name for documentation of attendance
- Site Safety Supervisor to visit Jobsite once a week
- Contractor required to provide drinking water on site
- OSHA guidelines will be maintained and posted
- Identify Potential Hazards and report them (ex. Defects & Near Misses)
- Inspect equipment before each use
- Have employee training every other week
- ALWAYS maintain proper housekeeping – A clean jobsite is a safe jobsite
- First Aid Kits & Fire Extinguishers Readily Available
- All Required Personal Protective Equipment will be provided by Apex Contractors

Safety Signs to be posted:



Personal Protective Equipment

<p>What is PPE?</p> <p>PPE is defined in the Personal Protective Equipment at Work Regulations 1992 as "all equipment (including clothing affording protection against weather) which is intended to be worn or held by a person at work and which protects him against one or more risks to his health or safety, and any addition or accessory designed to meet that objective."</p>	<p>The risks and appropriate types of PPE</p> <p>Eye protection Risks: chemical or metal splash, dust, gas and vapour, radiation. Options: safety spectacles, safety goggles, face shields, eye shields.</p> <p>Head protection Risks: impact from falling or flying objects, risk of head bumping, hair entanglement. Options: a range of helmets, bump caps, caps/hair nets.</p> <p>Breathing protection Risks: dust, vapour, gas, oxygen-deficient atmospheres. Options: disposable filtering face pieces or respirator, half- or full-face respirators, or fed helmets, breathing apparatus.</p> <p>Hearing protection Risks: noise levels higher than 80 db. Options: earmuffs/earplugs, earplugs, semi-earplugs.</p> <p>Hands and arms Risks: abrasion, temperature extremes, cuts and punctures, impact, chemicals, electric shock, skin infection, disease or contamination. Options: gloves, gauntlets, mitts, wrist cuffs, armlets.</p> <p>Body protection Risks: temperature extremes, adverse weather, chemical or metal splash, spray from pressure leaks or spray guns, impact or penetration, contaminated dust. Options: conventional or disposable overalls, boiler suits, specialist protective clothing, high-visibility clothing.</p> <p>Feet and legs Risks: wet, electrified building, slipping, cuts and punctures, falling objects, metal and chemical splash. Options: safety boots and shoes with protective toe caps and penetration-resistant mid-soles, gaiters, leggings.</p> <p>Organisations must assess the different risks in their workplace and choose the appropriate PPE.</p>	<p>Assessing suitable PPE</p> <ul style="list-style-type: none"> Is it suitable for the risks involved and the conditions at the workplace? Can it be adjusted to fit the wearer correctly and be comfortable? Has the state of health of those who will be wearing it been taken into consideration? If more than one item of PPE is being worn, are they compatible? Is the PPE 'CE' marked to show that it complies with European Safety Standards? Does it prevent or adequately control the risks involved without increasing the overall level of risk? <p>Attention: PPE may reduce mobility, limit communication and increase heat stress.</p>
<p>What do the regulations require?</p> <ul style="list-style-type: none"> PPE must be supplied and used at work wherever there are risks to health and safety that cannot be adequately controlled in any other way. PPE is maintained and stored properly. PPE is provided with instructions/training on how to use it safely. PPE is used correctly by employees. Employers must ensure that suitable PPE is provided FREE of charge to the employees, including self-employed workers. Employers must make sure workers know why PPE must be worn and what risks PPE protects them from. PPE Signage MUST be provided and maintained by employers. 	<p>PPE signage</p> <ul style="list-style-type: none"> PPE signage MUST be respected by employees, visitors and the general public. Offers recognizable visual guidance and instruction to employees, visitors and the general public. Warns about the specific need to use or wear items of personal protective equipment. Should be located close to the area of risk. <p>Health and Safety (Safety Signs and Signals) Regulations 1996 state that a mandatory sign prescribes specific behavior or action, eg wear protective equipment. Regulations specify that mandatory signs must have a round shape with a white pictogram on a blue background. The blue part should take up at least 50% of the area of the sign.</p> <p>From January 2013 ISO 7010 became a European Normative with the intention to use common, internationally recognised symbols on safety signs, replacing BS 5499-5:2002. The regulation recommends that EN ISO 7010 and SS 5499 signage should not be used in the workplace.</p>	<p>Maintenance of PPE</p> <ul style="list-style-type: none"> PPE must be examined before it is being used, to ensure it is in good working condition. PPE should not be used if it is found to be defective or requires cleaning. Effective maintenance of PPE is required in order to maintain its protective qualities. Maintenance programmes may include: Cleaning, Disinfecting, Examination, Repair, Testing. The degree of maintenance varies according to the complexity of the PPE. Manufacturer maintenance schedules and instructions must be followed. Employees should store PPE correctly when not in use and must report any defects or damage of PPE immediately.



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DRAWINGS



SHEET LIST	
SHEET #	SHEET NAME
C001	COVER
C002	SITE
G003	BUILDING AREA ANALYSIS
G004	WALL ASSEMBLIES
A 102A	ARCH. FOUNDATION PRESPECTIVES
A 103	LEVEL 0 FLOOR PLAN
A 104	LEVEL 1 FLOOR PLAN
A 105	ROOF PLAN
A 106	LEVEL 0 CEILING PLAN
A 107	LEVEL 1 CEILING PLAN
A 201	EXTERIOR ELEVATIONS
A 202	EXTERIOR ELEVATIONS
A 302	BUILDING SECTIONS
A 504	ROOF DETAILS
A 603	WINDOW & DOOR SCHEDULE & ELEVATIONS
S 201	FOUNDATION PLAN & DETAILS



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David Hartung
Glen Erickson
Logan Prochnow
Chloe Lawrence
Mikaela Prochnow

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10226 N LIV PL,
Park City, Utah

Lot C-07

COVER

Project Number	20203284
Date	10/26/2023
Drawn By	DPH/EES
Checked By	LL
<h1>C001</h1>	
Scale:	As indicated



GOVERNING BUILDING CODES & INFORMATION			
BUILDING CODE:	2015 INTERNATIONAL RESIDENTIAL CODE (I.R.C.)	MECHANICAL CODE:	2015 INTERNATIONAL MECHANICAL CODE (I.M.C.)
PLUMBING CODE:	WITH LEAH STATE AMENDMENTS 2015 INTERNATIONAL PLUMBING CODE (I.P.C.)	FIRE CODE:	2015 INTERNATIONAL FIRE CODE (I.F.C.)
ELECTRICAL CODE:	2017 NATIONAL ELECTRICAL CODE (N.E.C.)	ENERGY CONSERVATION:	2015 INTERNATIONAL ENERGY CONSERVATION CODE (I.E.C.C.)
ACCESSIBILITY:	2009 ANSI 117.1 & 2015 I.B.C.		
OCCUPANCY GROUP:	R2	BUILDING TYPE:	TYPE V-B
FIRE SPRINKLING:	YES	FIRE SPRINKLER TYPE:	NFPA 13
RISK CATEGORY (I.C. 104.5):	II	SITE EXPOSURE:	B
		BASIC WIND SPEED:	90 MPH
		ULTIMATE WIND SPEED:	115 MPH
MATERIALS: CONCRETE FOUNDATIONS, WOOD FRAME W/ BRICK MASONRY & FBFR CEMENT PANELS, TPO & METAL ROOFING.			
DEFERRED SUBMITTAL REQUIREMENTS			
DEFERRED SUBMITTALS ARE THOSE PORTIONS OF DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE PERMIT APPLICATION AND HAVE RECEIVED PRIOR APPROVAL FROM THE BUILDING OFFICIAL TO BE DEFERRED. THE DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND GENERAL CONTRACTOR WITHIN SIX WEEKS TO COMMENCEMENT OF CONSTRUCTION TO THIS PORTION OF WORK.			
DEFERRED SUBMITTAL PROCESS:			
1. THE DEFERRED SUBMITTAL SHALL FIRST BE REVIEWED BY THE GENERAL CONTRACTOR FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THE SUBMITTAL MUST BE REVIEWED, APPROVED, STAMPED AND SIGNED BY THE GENERAL CONTRACTOR BEFORE BEING SUBMITTED TO THE ARCHITECT.			
2. THE GENERAL CONTRACTOR SHALL DIGITALLY SUBMIT DEFERRED SUBMITTALS TO THE ARCHITECT.			
3. THE DEFERRED SUBMITTAL ITEMS WILL BE REVIEWED BY THE ENGINEER OR ARCHITECT IN RESPONSIBLE CHARGE. THE ENGINEER OR ARCHITECT WILL ATTACH A LETTER TO THE SUBMITTAL STATING THAT THE DEFERRED ITEMS ARE IN COMPLIANCE WITH THE DESIGN OF THE STRUCTURE.			
4. THE APPROVED SUBMITTALS WILL BE RETURNED TO THE GENERAL CONTRACTOR. TWO SETS OF THE DEFERRED SUBMITTAL ARE THEN SUBMITTED TO THE CITY FOR REVIEW.			
5. THE GENERAL CONTRACTOR SHALL MAINTAIN ONE SET OF THE APPROVED SUBMITTAL ON SITE FOR REFERENCE BY THE CITY INSPECTOR.			
6. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.			
7. SEE STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS FOR STRUCTURAL DEFERRED SUBMITTALS.			
DEFERRED SUBMITTAL ITEMS:			
1. EXTERIOR FRAMING, DESIGN AND INSTALLATION DETAILS PER STRUCTURAL.			
2. FIRE SPRINKLING DRAWINGS, INCLUDING DESIGN DRAWINGS AND CALCULATIONS.			
3. THE ALARM DRAWINGS AND SPECIFICATIONS.			
4. ALCU20 DRAWINGS AND SPECIFICATIONS.			
5. CCTV SECURITY CAMERA AND SECURITY SYSTEM.			
6. PROJECT TRIPLE PLAY (PHONE, DATA, T.V.) SHALL BE PROVIDED BY DEFERRED SUBMITTAL.			
7. GUT IN PLACE STORM WATER DETENTION SYSTEM.			
SPECIAL INSPECTIONS REQUIREMENTS		BUILDING AREAS	
SPECIAL INSPECTIONS ARE REQUIRED IN ACCORDANCE WITH IBC 2015 CHAPTER 17, SECTION 1704.		BUILDING AREA - GROSS	
SPECIAL INSPECTORS SHALL KEEP RECORDS OF INSPECTIONS. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, AND TO THE REGISTERED DESIGN PROFESSIONALS IN RESPONSIBLE CHARGE. 2015 IBC SECTION 1704.2-4.		NAME	AREA
SEE PROJECT MANUAL / SPECIFICATIONS, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL GENERAL NOTES FOR ADDITIONAL SPECIAL INSPECTION REQUIREMENTS.		LEVEL 0	1443 SF
		LEVEL 1	1795 SF
			2798 SF



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ARCHITECTURAL MODELING & DESIGN TECHNOLOGY
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Chloe Lawrence
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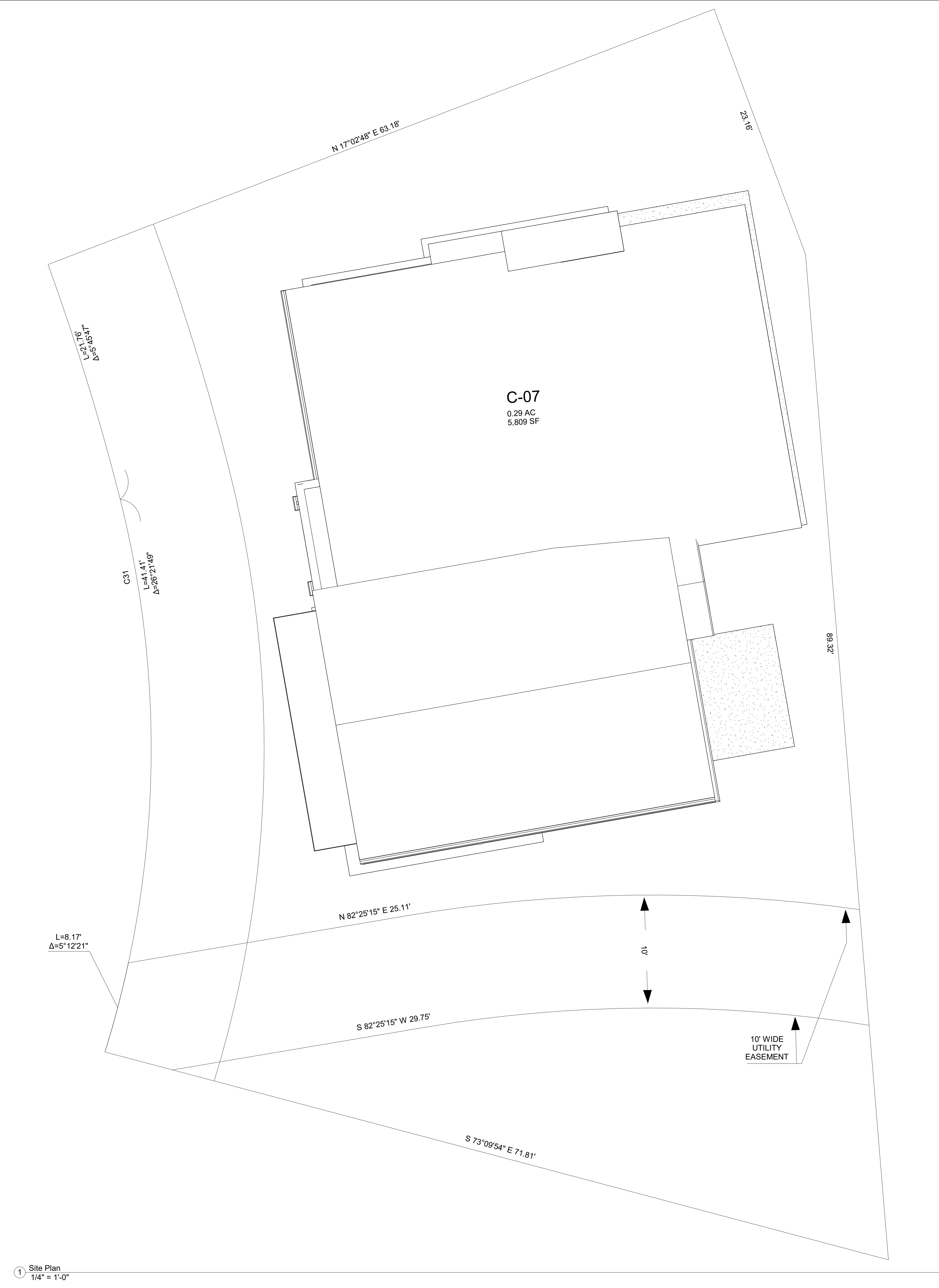
10226 N LIV PL,
Park City, Utah
Lot C-07

SITE

Project Number	20203284
Date	10/26/2023
Drawn By	EES
Checked By	DPH

C002

Scale: 1/4" = 1'-0"



① Site Plan
1/4" = 1'-0"

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 Lot C-07

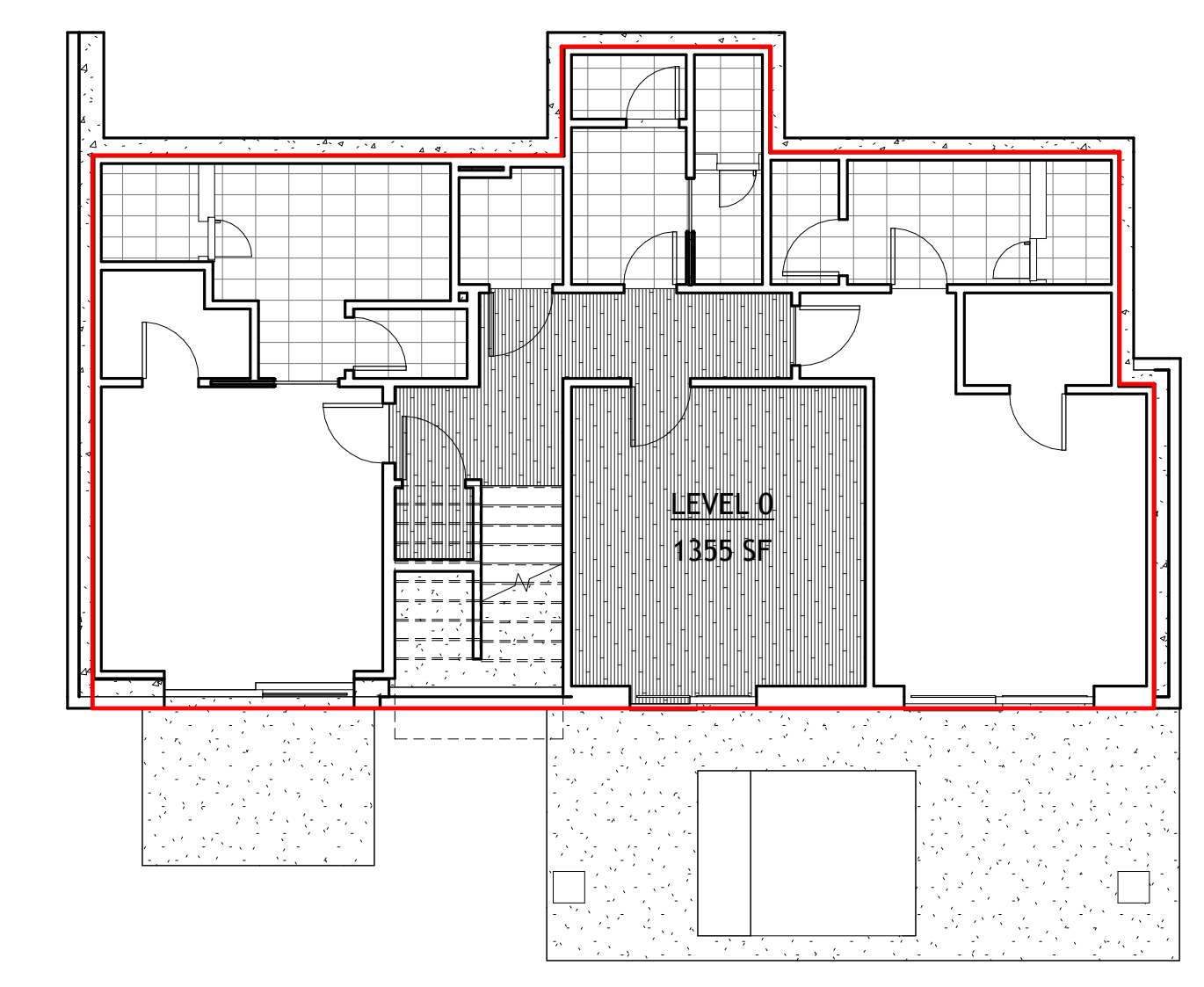
BUILDING AREA ANALYSIS

Project Number 20203284
 Date 10/26/2023
 Drawn By DPH
 Checked By EES

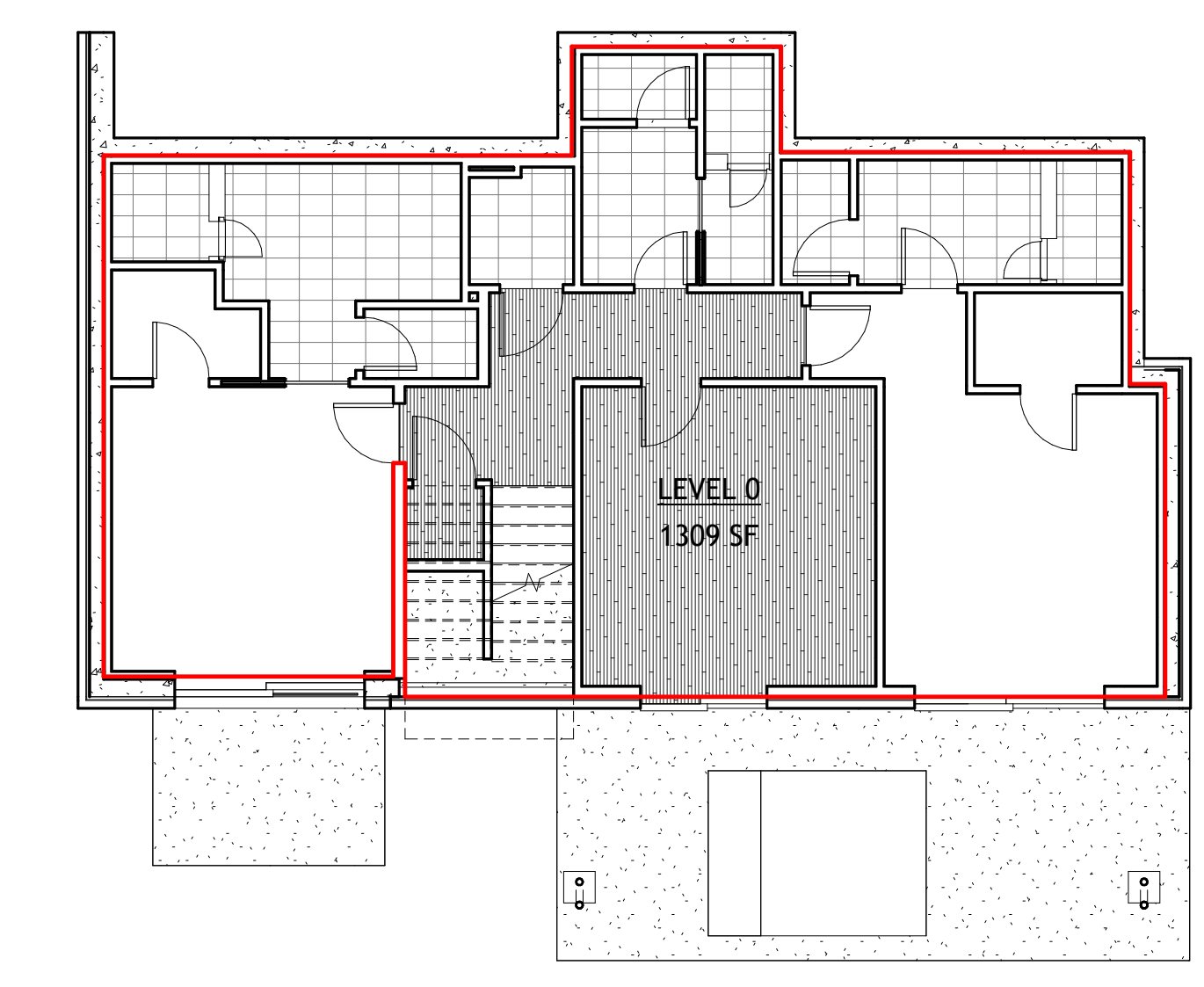
G003

Scale: As indicated

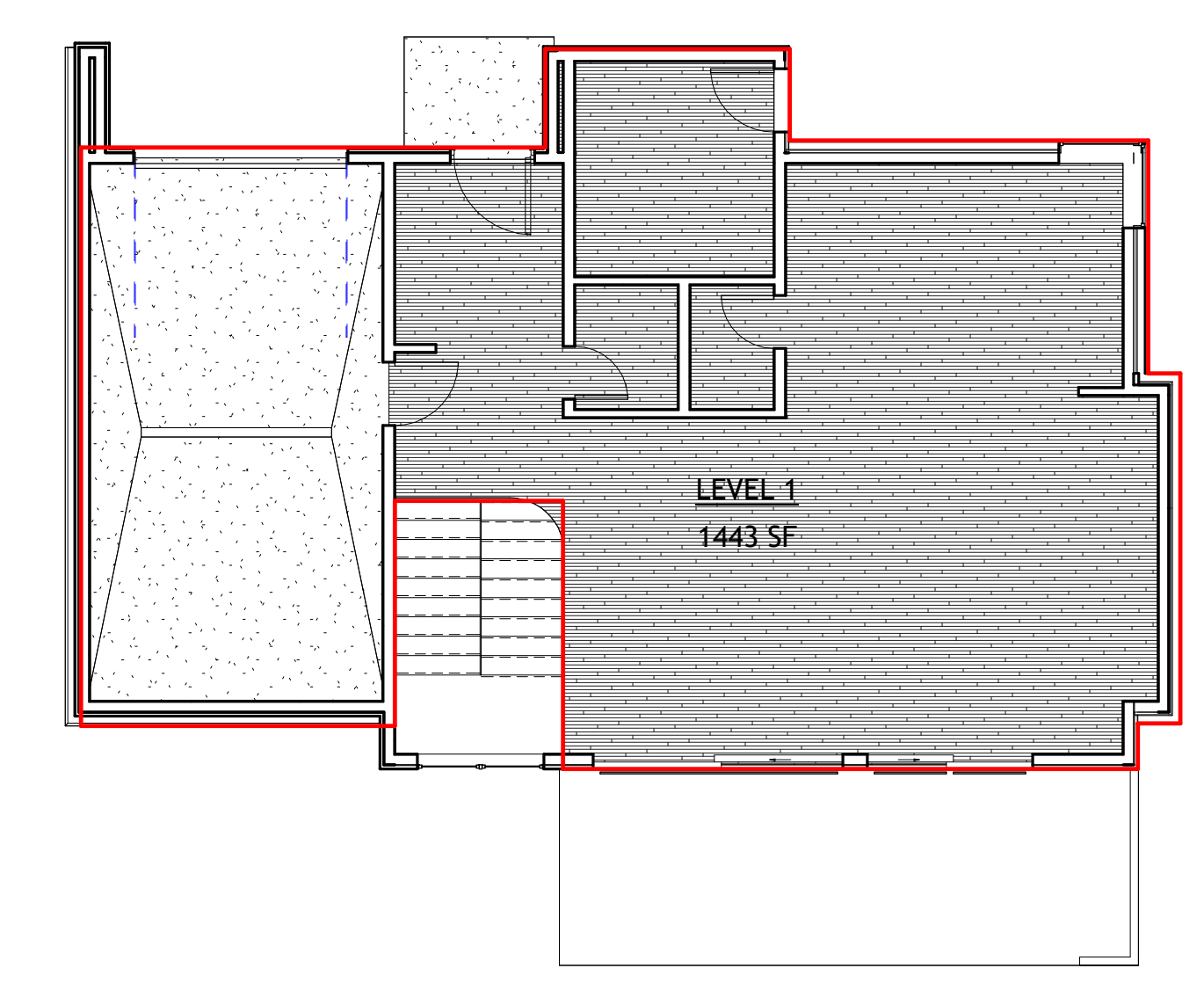
OCCUPANCY:
 EACH DWELLING LIMITED TO 25 OCCUPANTS



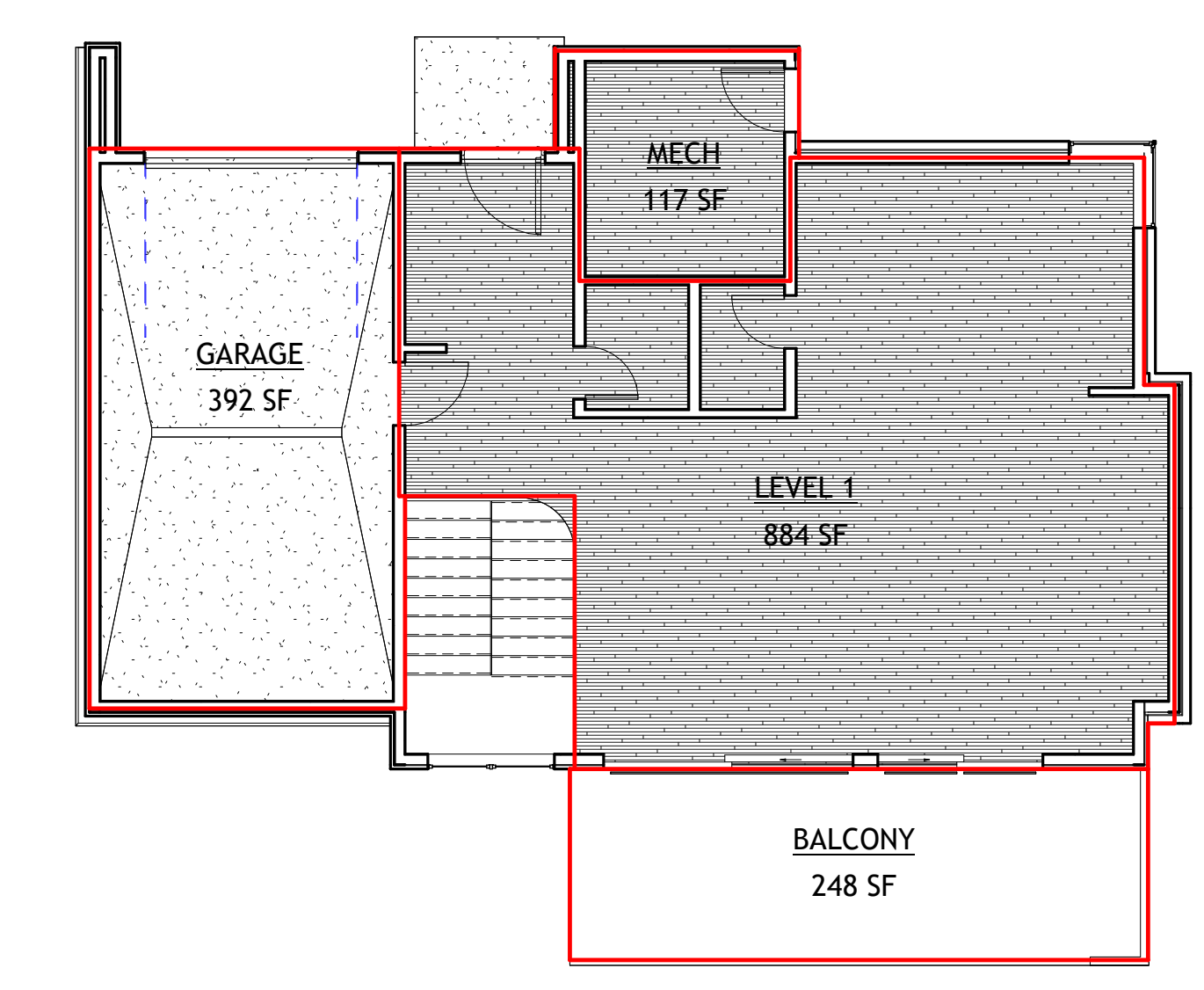
4 AREA PLAN LEVEL 0 - GROSS
 1/8" = 1'-0"



3 AREA PLAN LEVEL 0 - RETAINABLE
 1/8" = 1'-0"



2 AREA PLAN LEVEL 1 - GROSS
 1/8" = 1'-0"



1 AREA PLAN LEVEL 1 - RETAINABLE
 1/8" = 1'-0"

BUILDING AREA - GROSS	
NAME	AREA
LEVEL 0	1443 SF
LEVEL 1	1355 SF
	2798 SF

BUILDING AREA - UNFINISHED	
NAME	AREA
LEVEL 0	1309 SF
LEVEL 1	884 SF
	2193 SF

BUILDING AREA - UNFINISHED	
NAME	AREA
GARAGE	392 SF
MECH	117 SF
	509 SF

BUILDING AREA - TOTAL	
NAME	AREA
	2791 SF

BUILDING AREA - BALCONY	
NAME	AREA
BALCONY	248 SF

GENERAL NOTES:

1. THE DETAILS HERE ARE A SUMMARY DESCRIPTION OF THE ASSEMBLIES SHOWN. FIRE AND SOUND RATED ASSEMBLIES ARE REQUIRED TO MEET THE FULL TESTING SPECIFICATIONS AS GIVEN BY THE TESTING AGENCY AS INDICATED BY THE TEST NUMBER PROVIDED.
2. THE SPECIFICATIONS INCLUDE A COPY OF ALL NOTED ASSEMBLIES. THE CONTRACTOR IS REQUIRED TO INSTALL ALL PRODUCTS IN COMPLIANCE WITH THE ASSEMBLY REQUIREMENTS AND SHALL HAVE A COPY OF THE FULL ASSEMBLY ON SITE.
3. 2x4 WOOD STUD R-VALUE = 4.38
4. 2x6 WOOD STUD R-VALUE = 6.88
5. BATT INSULATION R-VALUE = 19
6. RIDGE INSULATION R-VALUE = 2.16
7. STONE VENEER R-VALUE = 0.2
8. GYPSUM WALL BOARD R-VALUE = 0.5625
9. CONCRETE R-VALUE = 0.8 - 1.0
10. PLYWOOD R-VALUE = 0.62
11. WOOD SIDING R-VALUE = 0.8
12. METAL PANEL R-VALUE = 0.61



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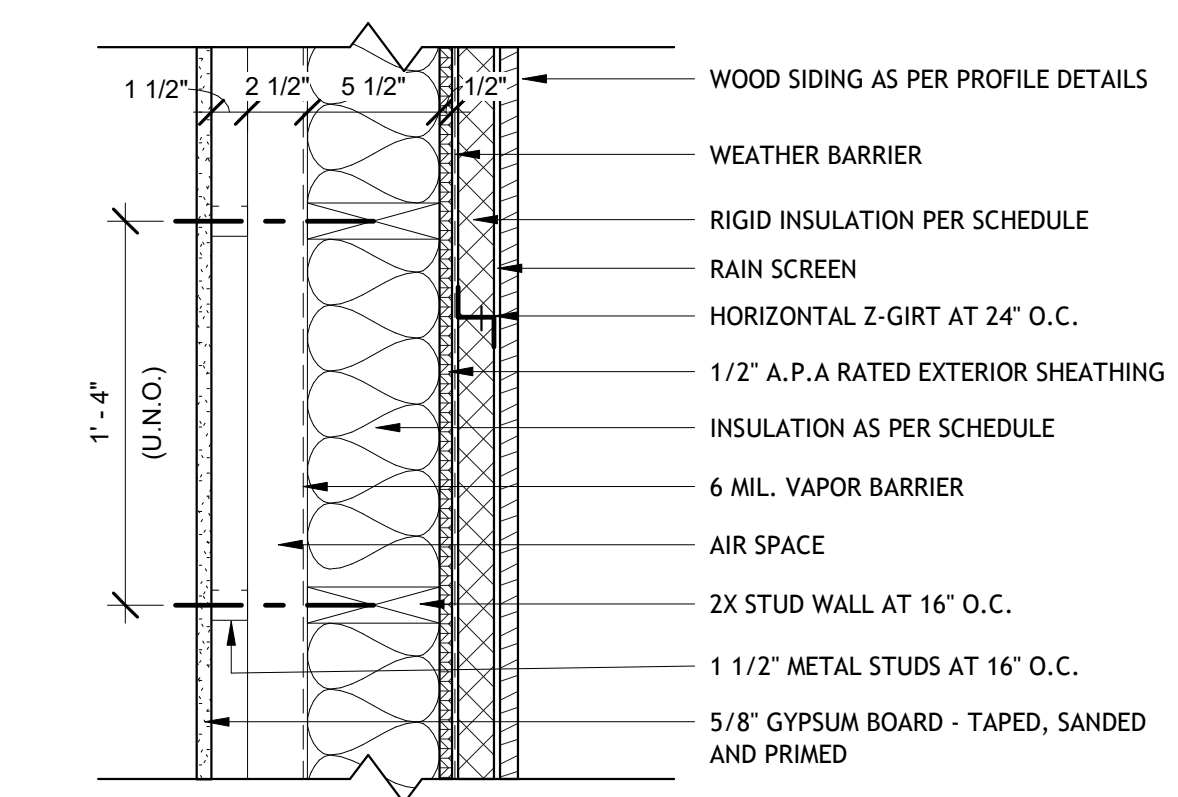
Lot C-07

WALL ASSEMBLIES

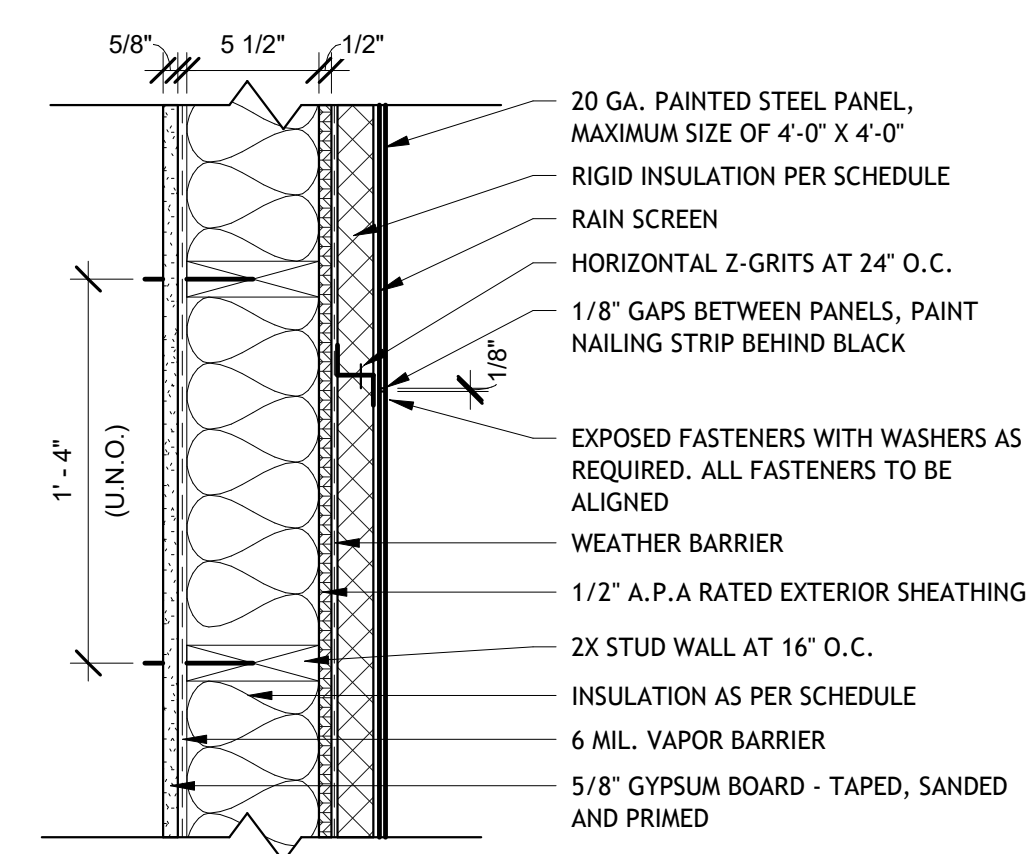
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Date	10/26/2023
Drawn By	MFL
Checked By	EES/DPH

G004

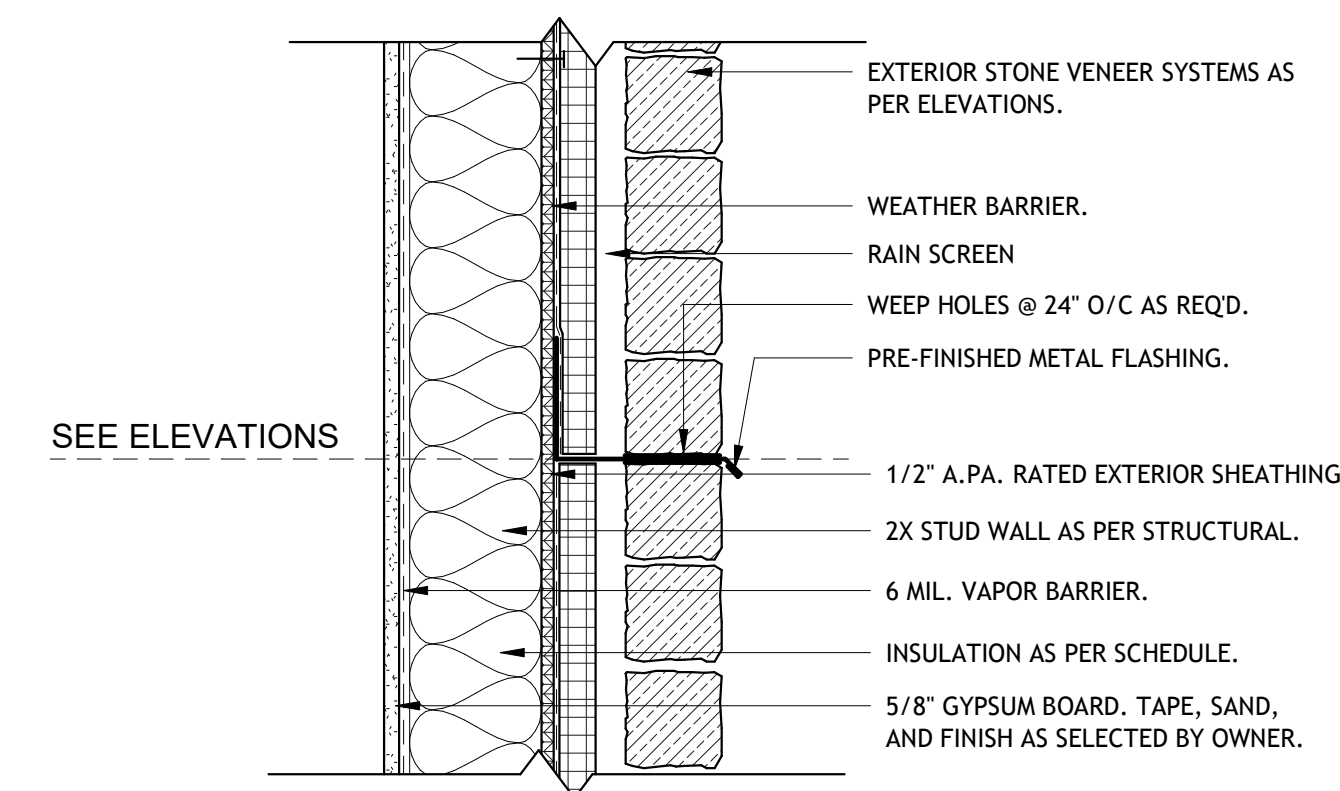
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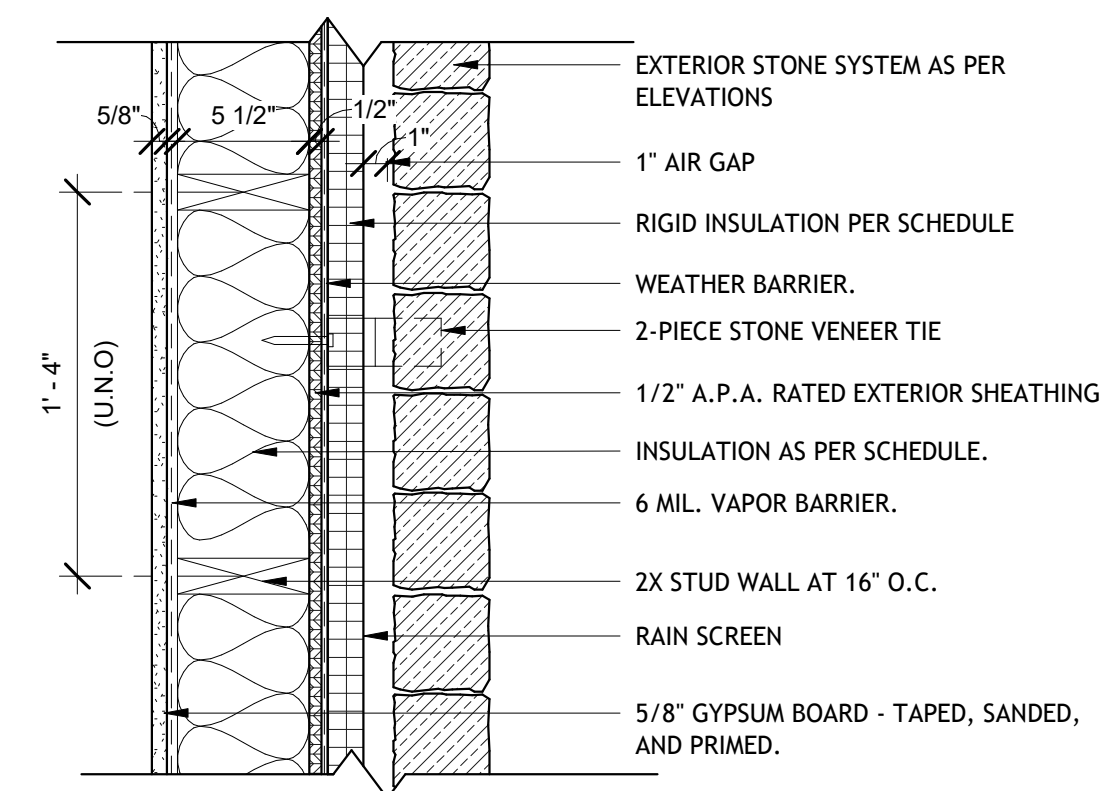
9 FRAMING - WOOD SIDING WALL ASSEMBLY B
1 1/2" = 1'-0"



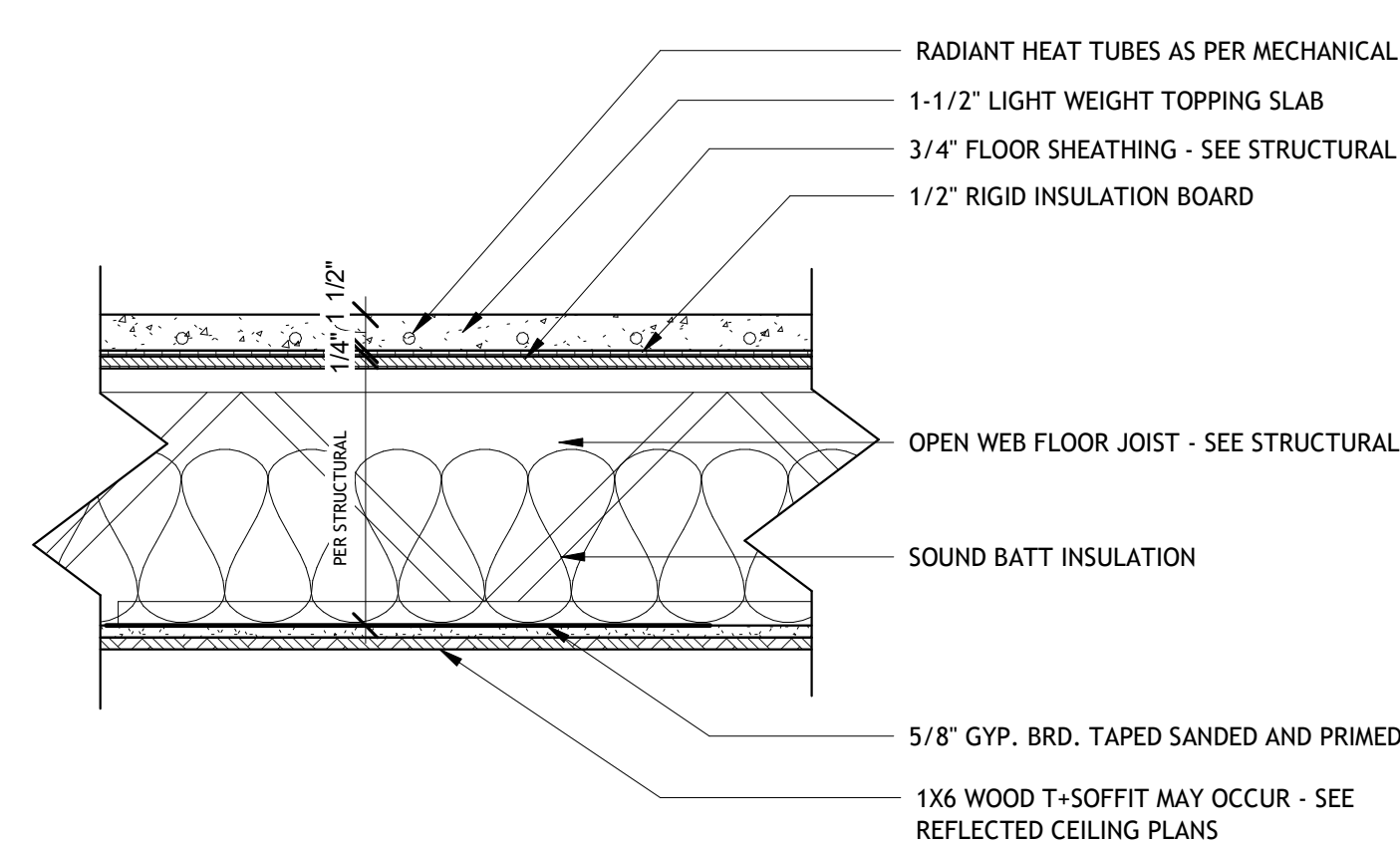
7 FRAMING - METAL PANEL WALL ASSEMBLY
1 1/2" = 1'-0"



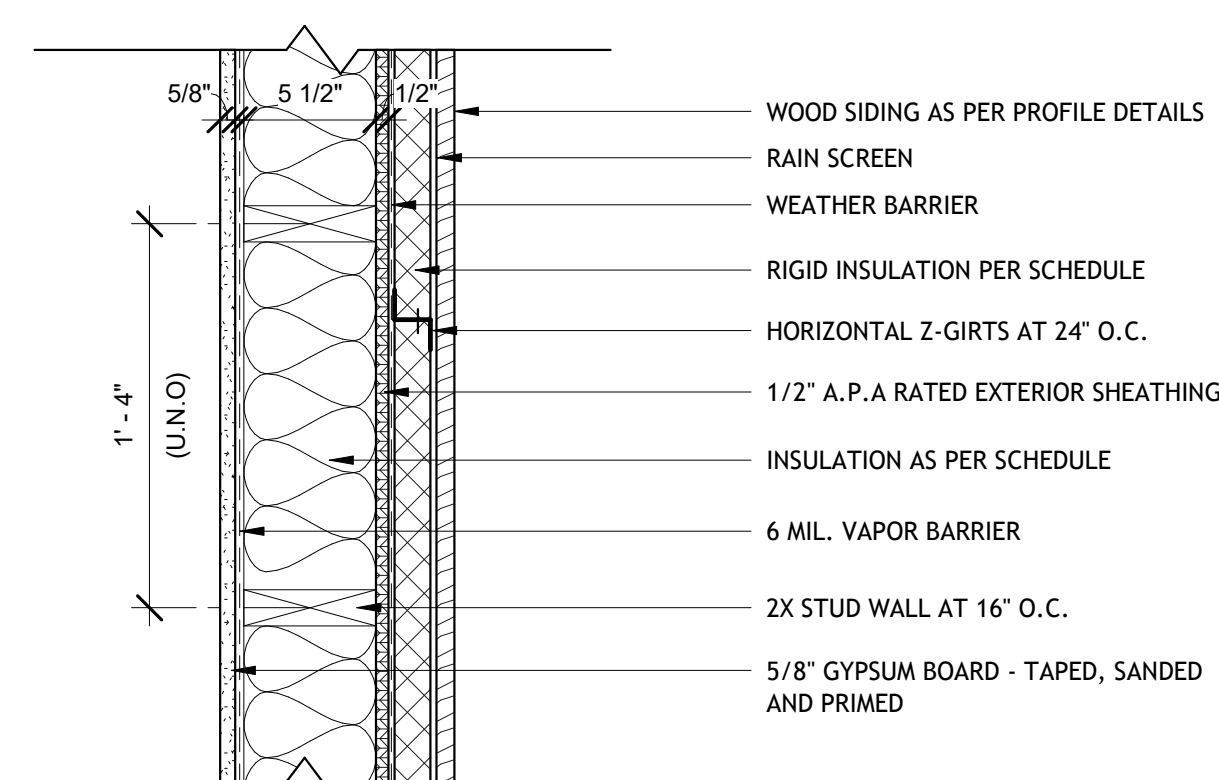
6 FRAMING - FLASHING DETAIL @STONE
1 1/2" = 1'-0"



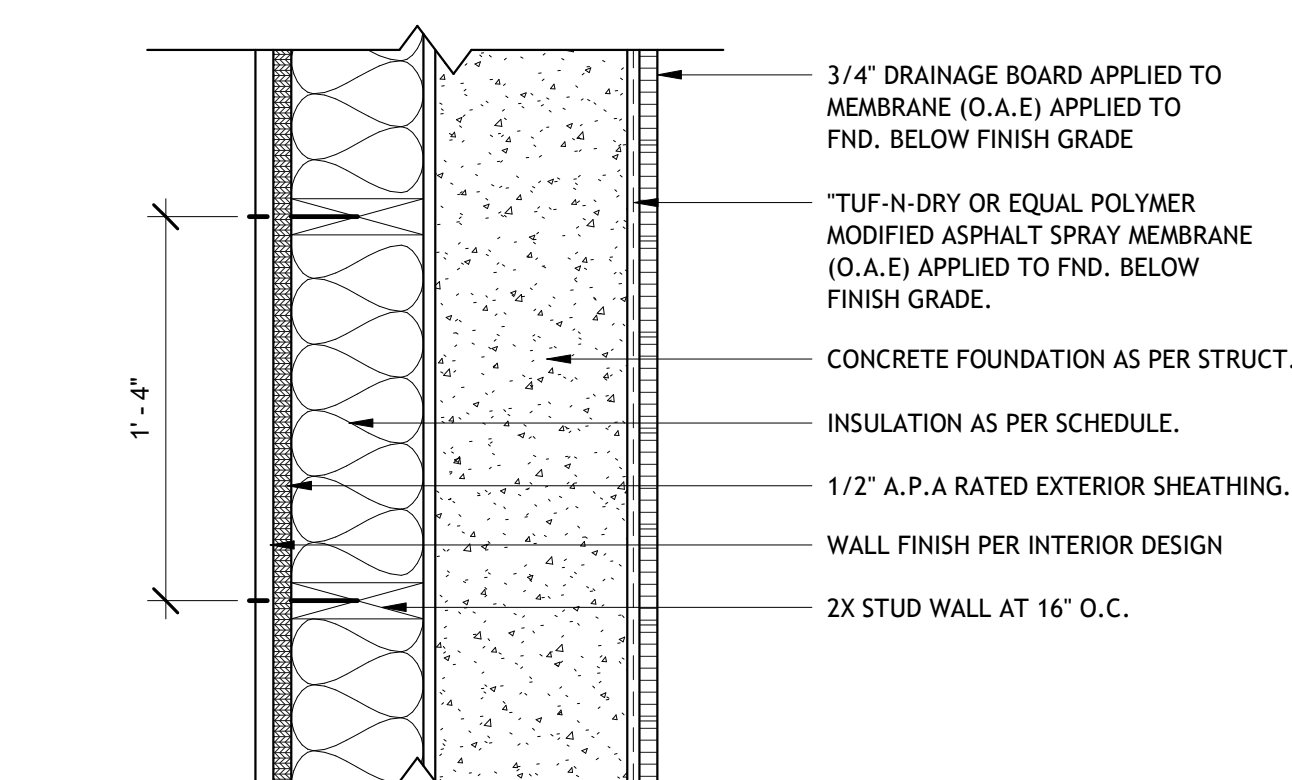
5 FRAMING - STONE MASONRY WALL ASSEMBLY A
1 1/2" = 1'-0"



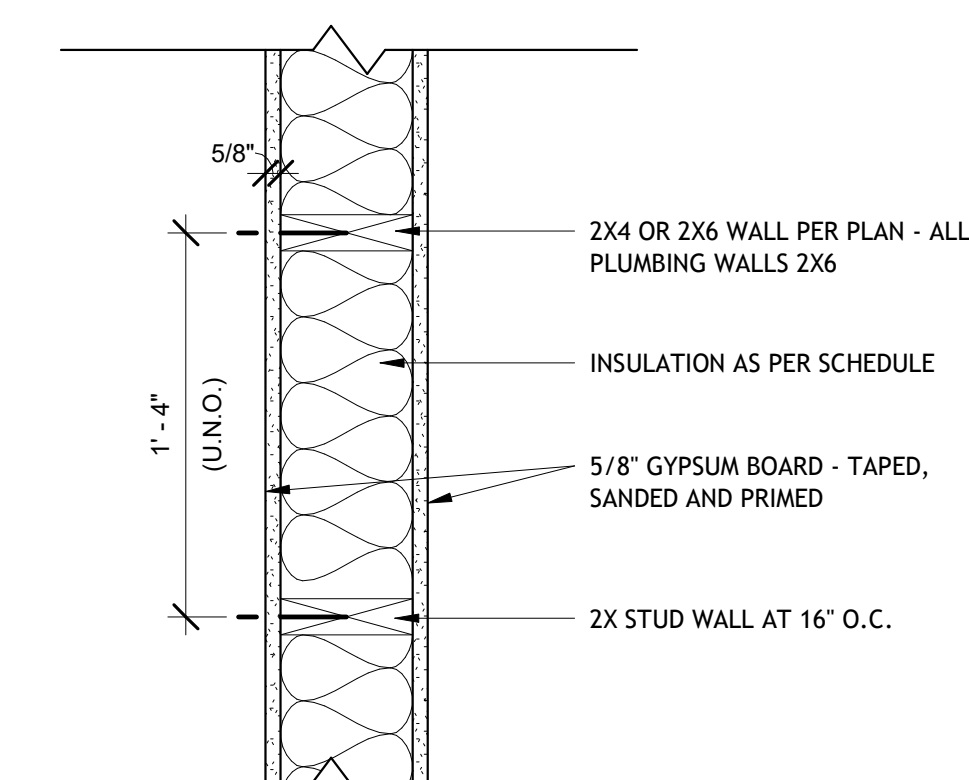
8 FLOOR - ASSEMBLY DETAIL
1 1/2" = 1'-0"



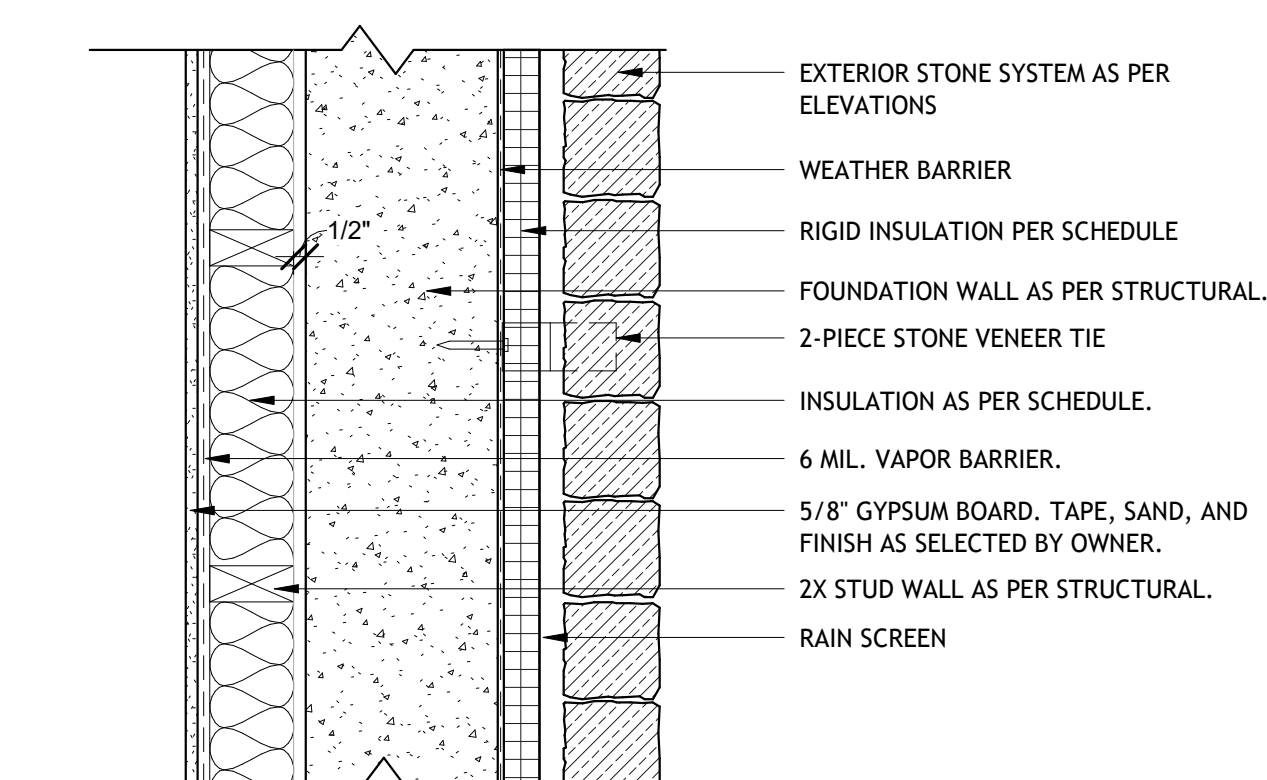
3 FRAMING - WOOD SIDING WALL ASSEMBLY A
1 1/2" = 1'-0"



2 FRAMING - CONCRETE FURR OUT ASSEMBLY
1 1/2" = 1'-0"



1 FRAMING - TYPICAL INTERIOR WALL ASSEMBLY
1 1/2" = 1'-0"



4 FRAMING - STONE OVER CONCRETE ASSEMBLY
1 1/2" = 1'-0"



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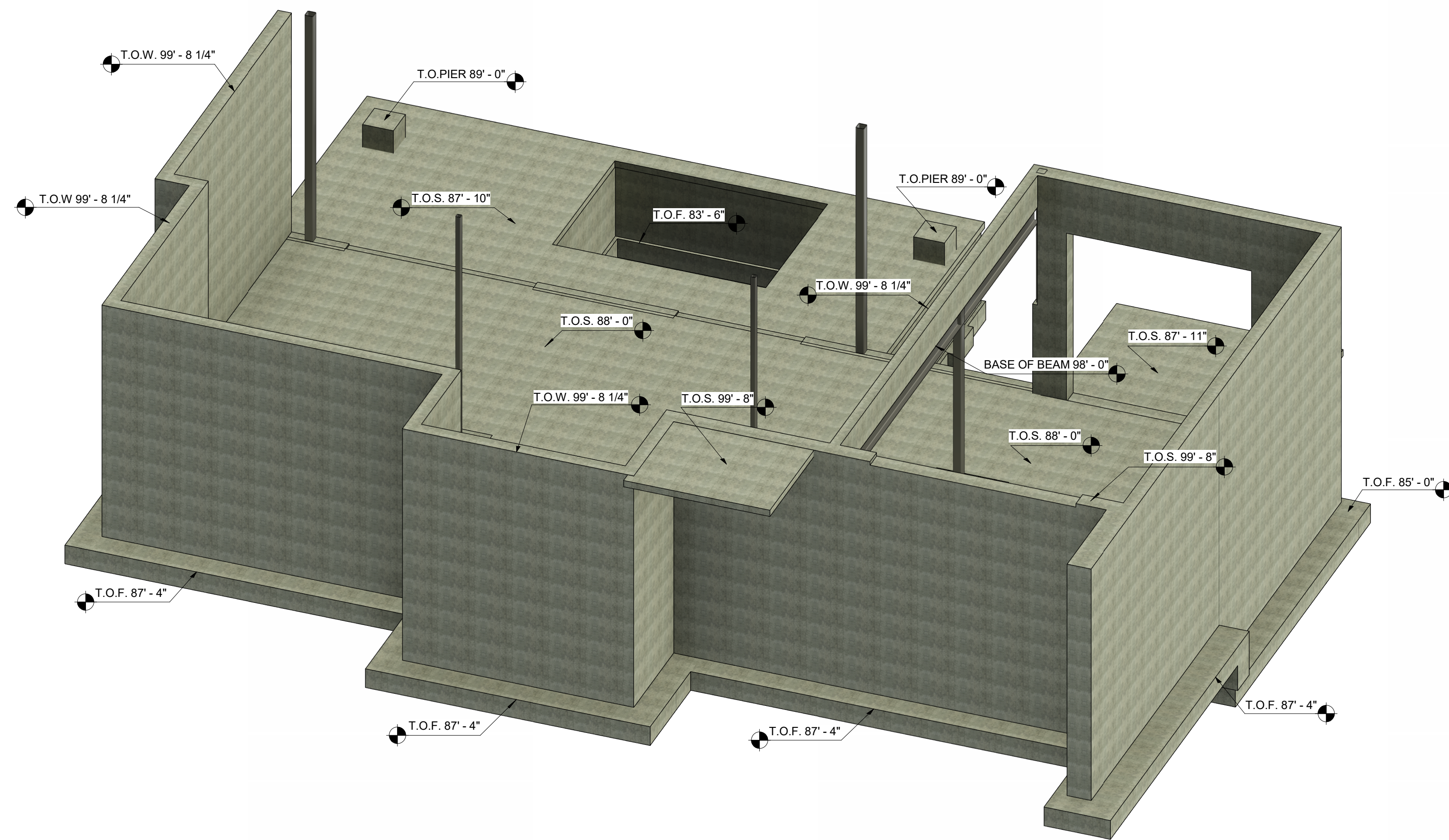
Lot C-07

ARCH. FOUNDATION PRESPECTIVES

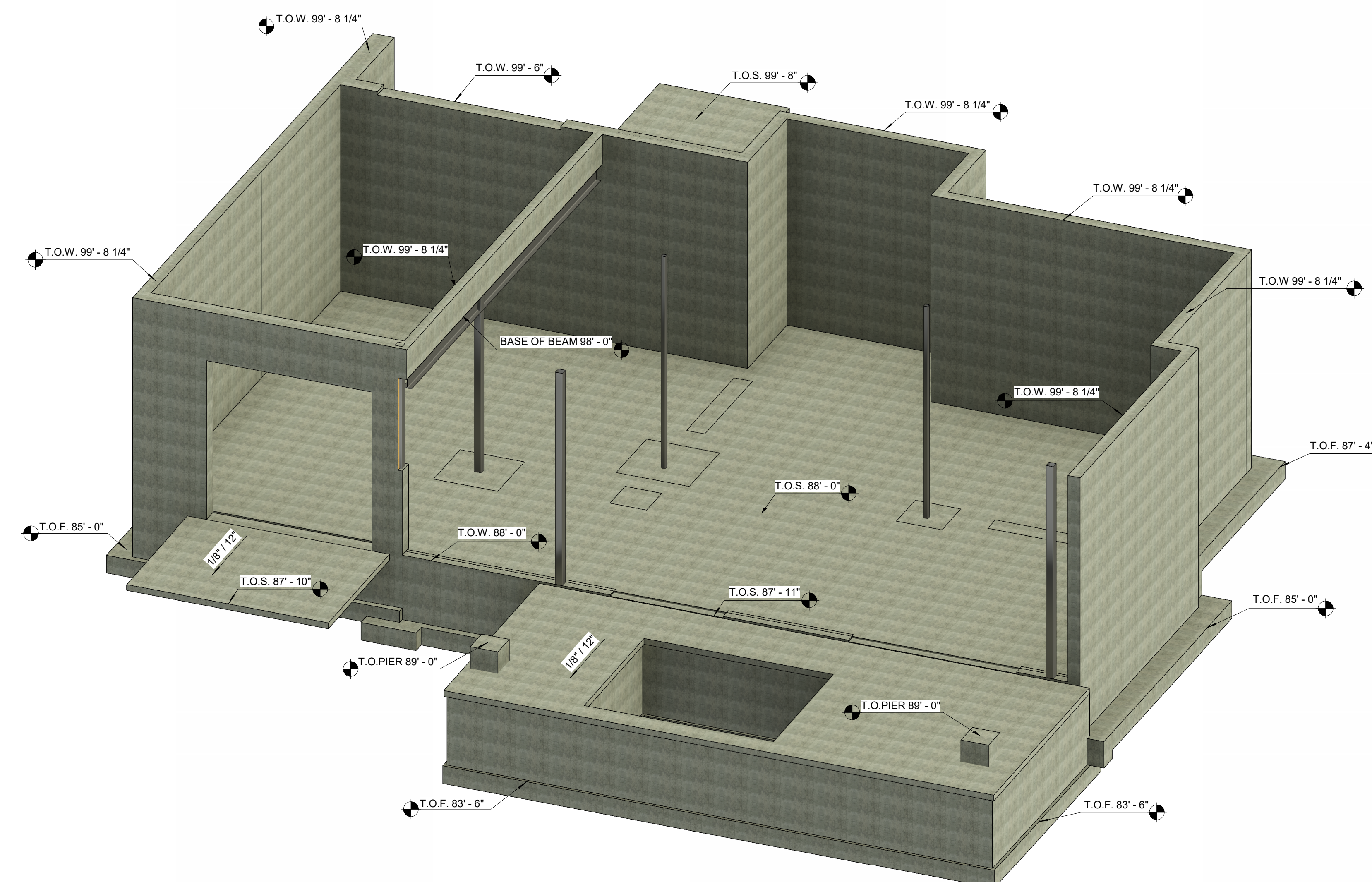
Project Number	20203284
Date	10/26/2023
Drawn By	DPH
Checked By	EES

A 102A

Scale:



2 FULL FOUNDATION WALLS FRONT

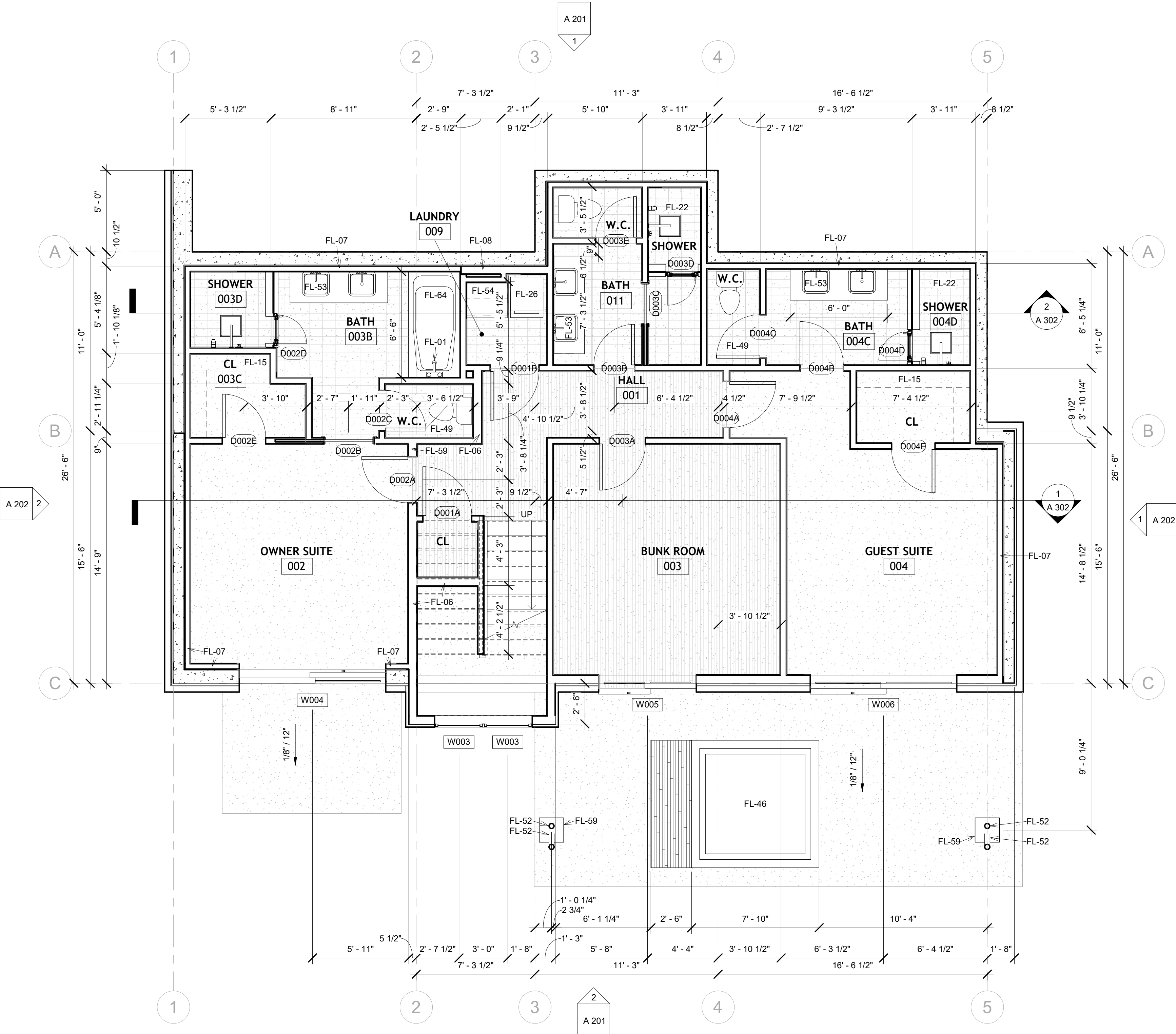


1 FULL FOUNDATION WALLS BACK

- FLOOR PLAN GENERAL NOTES:
1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
 2. CEILING HEIGHTS MEASURED FROM PLYWOOD OR CONCRETE - SEE SECTIONS
 3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
 4. REFER TO ENLARGED PLANS FOR ALL DECKS/PATIOS.
 5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
 6. ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
 7. SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
 8. COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
 9. COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES
 10. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
 11. ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
 12. ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
 13. ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).
 14. FOR TYPICAL WALL ASSEMBLIES/DETAILS SEE SHEET G004.

FLOOR PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
	POURED IN PLACE CONCRETE WALL		CARPET FINISH, SEE I.D.
	STONE VENEER		TILE FINISH, SEE I.D.
	WOOD STUD WALL		EXTERIOR CONCRETE SALBS
			EXTERIOR WOOD DECK
			WOOD FLOOR. SEE I.D.

KEYNOTES	
Key Value	Keynote Text
FL-01	CONTRACTOR TO COORDINATE FLOOR PENETRATIONS WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS
FL-06	2X6 STUD WALL ROUGH FRAMING, 16" O.C. U.N.O., SEE DETAILS.
FL-07	2X4 BASEMENT STUD FURRING WALL, 16" O.C. SEE DETAILS.
FL-08	2X6 BASEMENT STUD FURRING WALL, 16" O.C. SEE DETAILS.
FL-15	CLOSET SHELVING/ ROD AS SELECTED BY INTERIOR DESIGNER
FL-22	BATH HARDWARE - PER INTERIOR DESIGNER FOR MOUNTING HEIGHT- CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION OF BATH HARDWARE AS PER MANUFACTURER
FL-26	STACKABLE WASHER/ DRYER. COORDINATE W/ INTERIOR DESIGNER & CONSTRUCTION TRADES AS REQUIRED
FL-46	HOT TUB BULLFROG A8 SERIES. CONFIRM PIT SIZE AND DEPTH REQUIREMENTS WITH MANUFACTURER
FL-49	W.C. PER INTERIOR DESIGNER
FL-52	PIPE STEEL COLUMNS - SEE STRUCTURAL FOR SIZE AND SPECS.
FL-53	BATHROOM SINK - VANITY PER INTERIOR DESIGNER
FL-54	ALL CASEWORK - PER INTERIOR DESIGNER
FL-59	CAST IN PLACE CONCRETE COLUMN PER STRUCTURAL
FL-64	BATHTUB AS PER INTERIOR DESIGNER



1 BASEMENT
1/4" = 1'-0"



VALVAERE - CABIN B

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David Hartung
Glen Erickson
Logan Prochnow
Chloe Lawrence
Mikaela Prochnow

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10226 N LIV PL,
Park City, Utah
Lot C-07

LEVEL 0 FLOOR PLAN

Project Number	20203284
Date	10/26/2023
Drawn By	DPH
Checked By	EES

A 103

Scale: As indicated

- FLOOR PLAN GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
 2. CEILING HEIGHTS MEASURED FROM PLYWOOD OR CONCRETE - SEE SECTIONS
 3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
 4. REFER TO ENLARGED PLANS FOR ALL DECKS/PATIOS.
 5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
 6. ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
 7. SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
 8. COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
 9. COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES
 10. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
 11. ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
 12. ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
 13. ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).
 14. FOR TYPICAL WALL ASSEMBLIES/DETAILS SEE SHEET G004.

FLOOR PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
	POURED IN PLACE CONCRETE WALL		CARPET FINISH, SEE I.D.
	STONE VENEER		TILE FINISH, SEE I.D.
	WOOD STUD WALL		EXTERIOR CONCRETE SALBS
			EXTERIOR WOOD DECK
			WOOD FLOOR. SEE I.D.

KEYNOTES	
Key Value	Keynote Text
FL-06	2X6 STUD WALL ROUGH FRAMING, 16" O.C. U.N.O., SEE DETAILS.
FL-19	WOOD LOCKERS AS SELECTED BY OWNER/INT. DESIGNER
FL-20	WOOD BENCH PER INTERIORS
FL-27	DISHWASHER, COORD. W/ INT. DESIGNER & CONSTRUCTION TRADES AS REQUIRED
FL-28	REFRIGERATOR/ FREEZER COMBO, COORDINATE W/ INT. DESIGNER & CONSTRUCTION TRADES AS REQUIRED
FL-32	GAS RANGE AS SELECTED BY INTERIOR DESIGNER, COORD. W/ INT. DESIGNER AND CONSTRUCTION TRADES AS REQUIRED
FL-37	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE
FL-49	W.C. PER INTERIOR DESIGNER
FL-54	ALL CASEWORK - PER INTERIOR DESIGN
FL-56	KITCHEN SINK, HARDWARE AND CABINETS PER INTERIOR DESIGNER - COORDINATE W/ PLUMBING, ELECTRICAL AND MECHANICAL
FL-68	BBQ-GRILL AS SELECTED BY OWNER-COORDINATE WITH MECHANICAL FOR NATURAL GAS



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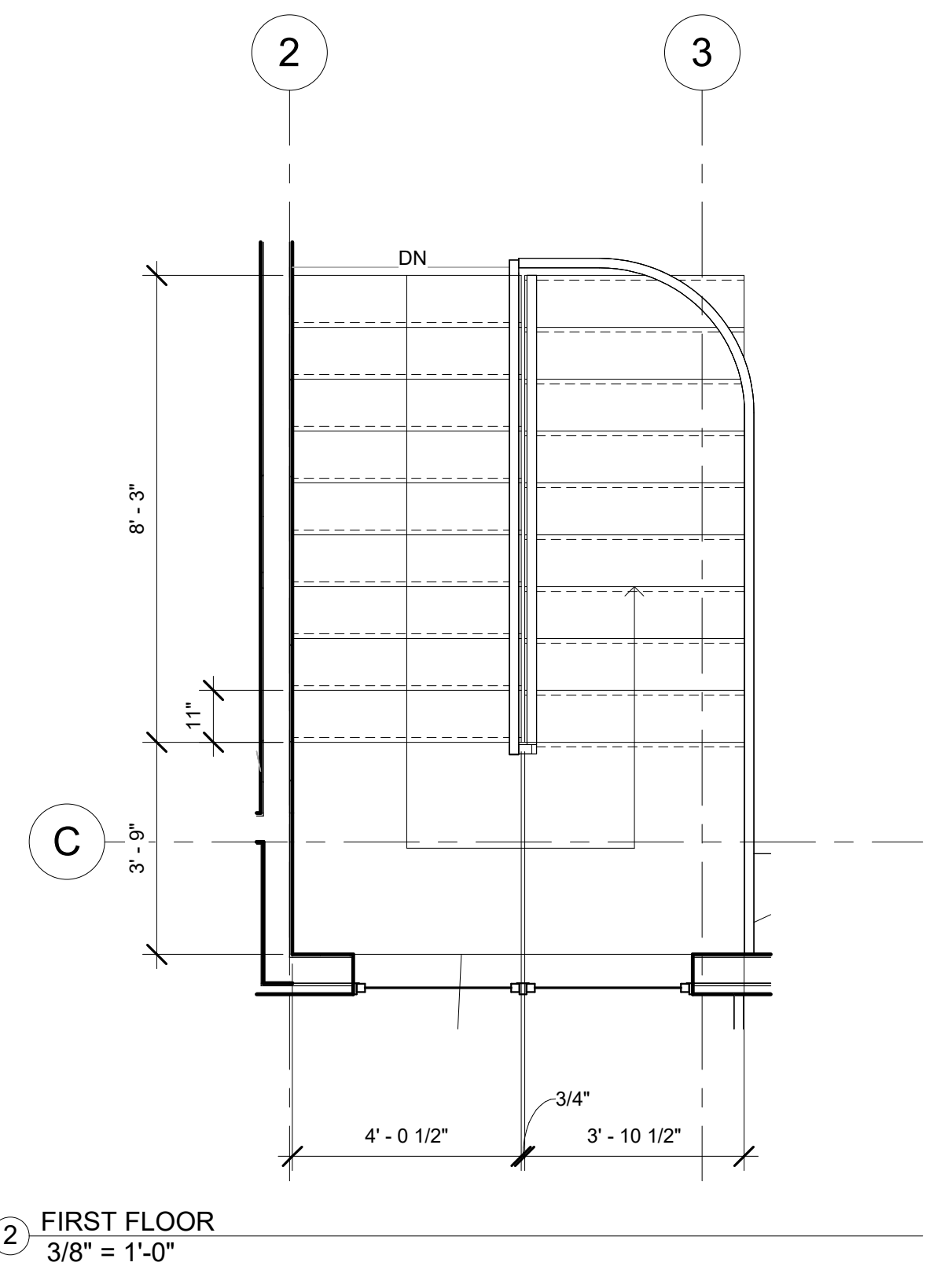
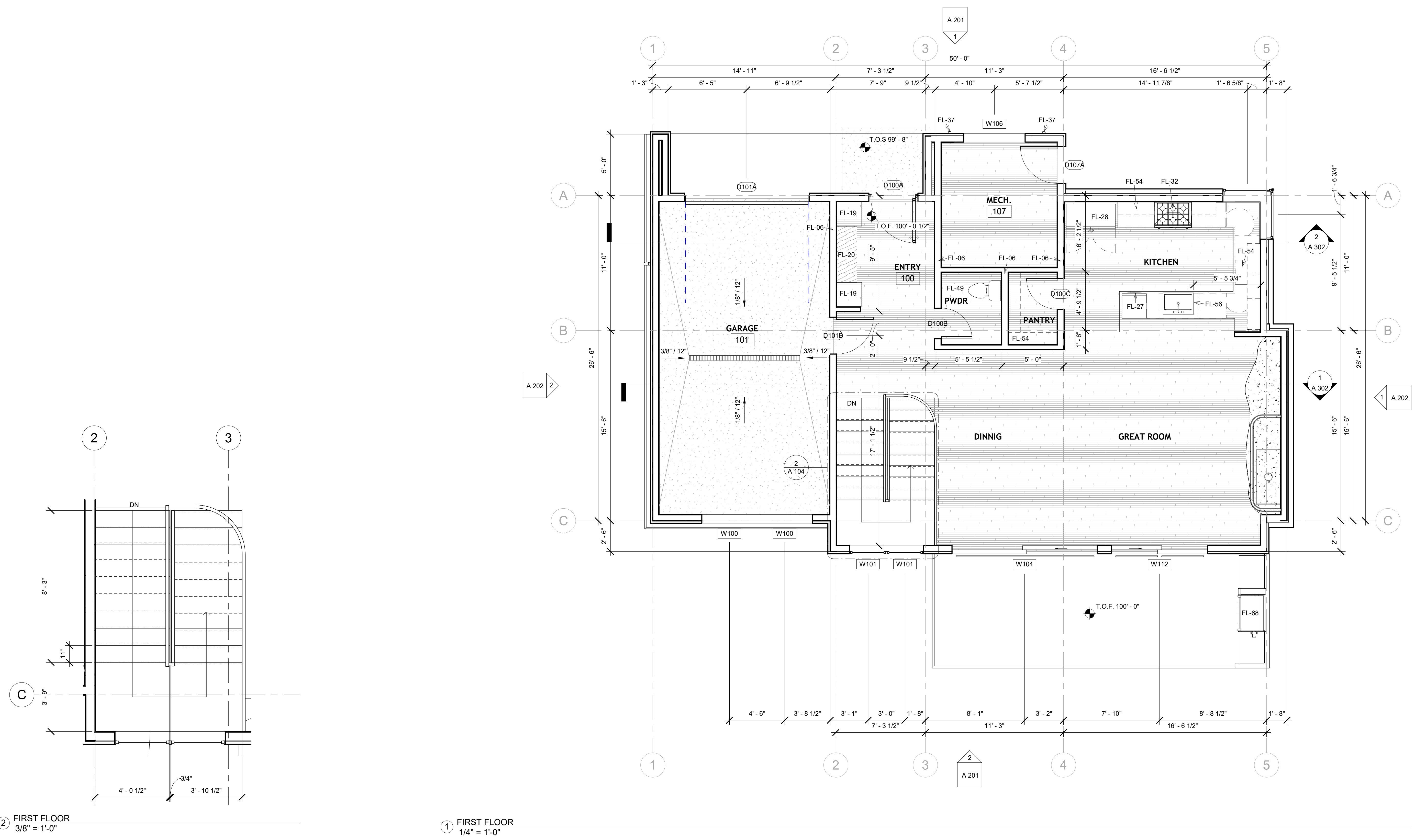
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 Park City, Utah
 Lot C-07

LEVEL 1 FLOOR PLAN

Project Number	20203284
Date	10/26/2023
Drawn By	DPH
Checked By	EES

A 104

Scale: As indicated



1 FIRST FLOOR
 1/4" = 1'-0"

2 FIRST FLOOR
 3/8" = 1'-0"

- ROOF PLAN GENERAL NOTES:**
- SEE SHEET G002 FOR PROJECT GENERAL NOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
 - FLASH ALL ROOF PENETRATIONS WHETHER SHOWN OR NOT.
 - COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL ROOF PENETRATIONS.
 - PROVIDE HEAT TRACE IN ALL RAIN GUTTERS, DOWN SPOUTS AND RAIN CHAINS.
 - ROOFING CONTRACTOR SHALL REVIEW ALL SUBSTRATES PRIOR TO BEGINNING WORK.
 - ALL ROOFING SHALL BE REVIEWED PRIOR TO INSTALLATION.
 - CONTRACTOR IS RESPONSIBLE TO ASSUME THAT NO ROOF SLOPES CREATE DEAD SPOTS OR LOW SPOTS THAT WILL PREVENT DRAINAGE.
 - ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).
 - DIMENSIONS SHOWN ON THE ROOF PLAN ARE FROM THE EXTERIOR SIDE OF THE STUD FRAMING BELOW.

ROOF PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
[Hatched Pattern]	MEMBRANE ROOFING SYSTEM	[Hatched Pattern]	
[Hatched Pattern]	STANDING SEAM METAL ROOFING SYSTEM	[Hatched Pattern]	
[Hatched Pattern]	LOCATION OF SNOW RETENTION SYSTEM - TO BE DESIGNED AND ENGINEERED BY OTHERS	[Hatched Pattern]	
[Circle with D.S.]	RAIN GUTTER WITH DOWN SPOUT		

ROOF PLAN KEYNOTES	
Key Value	Keynote Text
RF-07	LINE OF WALL BELOW ROOF- SEE OVERALL AND ENLARGED PLANS
RF-10	CRICKET, AS INDICATED BY HATCHED AREA - MAINTAIN DRAINAGE AWAY FROM ALL CHIMNEY AND MECH. EQUIPMENT PENETRATIONS. SLOPE AND ROOFING MATERIAL OF CRICKETS SHALL MATCH THAT OF PRIMARY ROOF (MIN.).
RF-17	STEEL PLATE AWNING - SEE DETAILS
RF-22	CHIMNEY SLOPED STONE CAP



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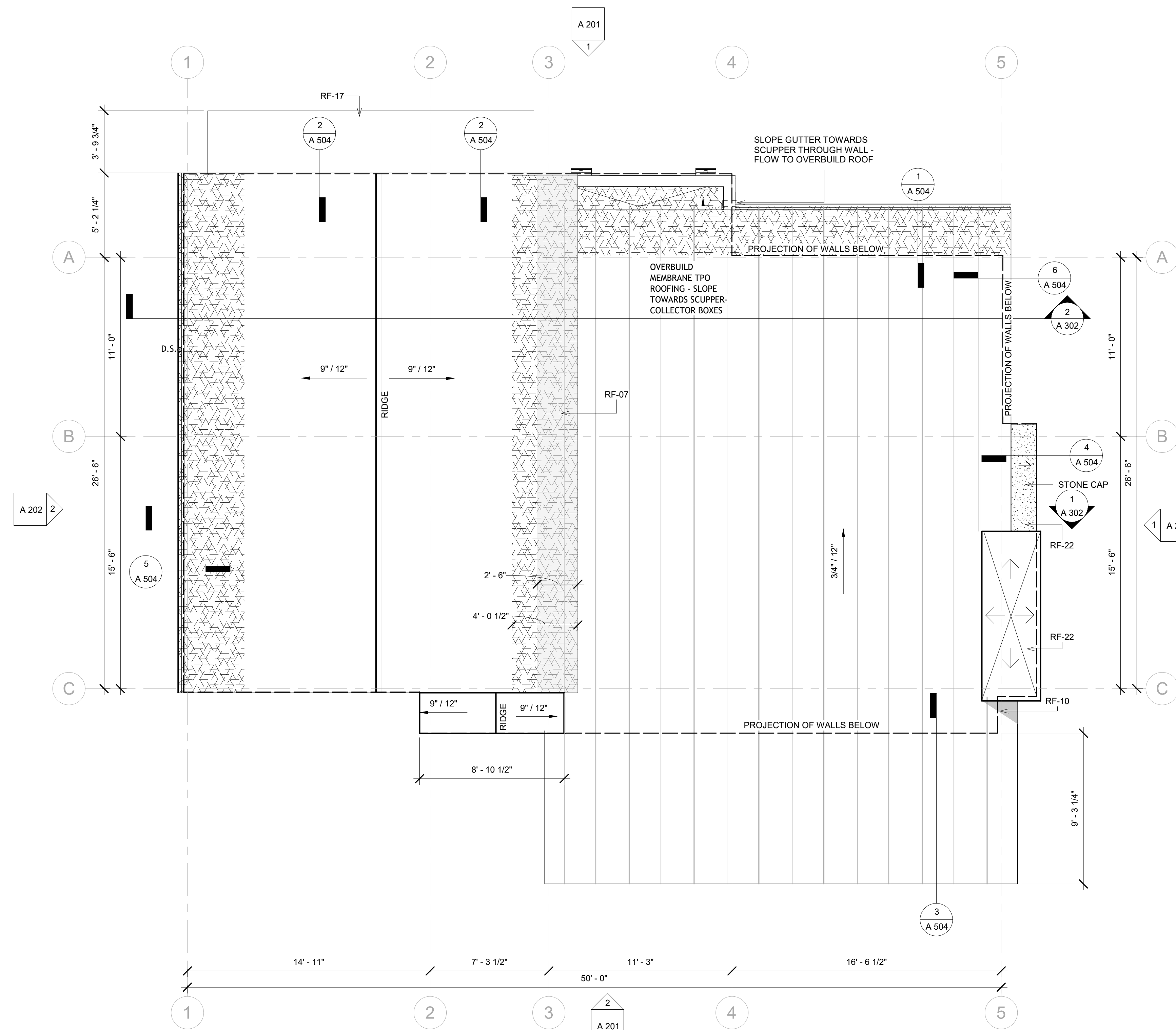
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ROOF PLAN



1 LEVEL 1 ROOF BEARING 2
 1/4" = 1'-0"

Project Number	20203284
Date	10/26/2023
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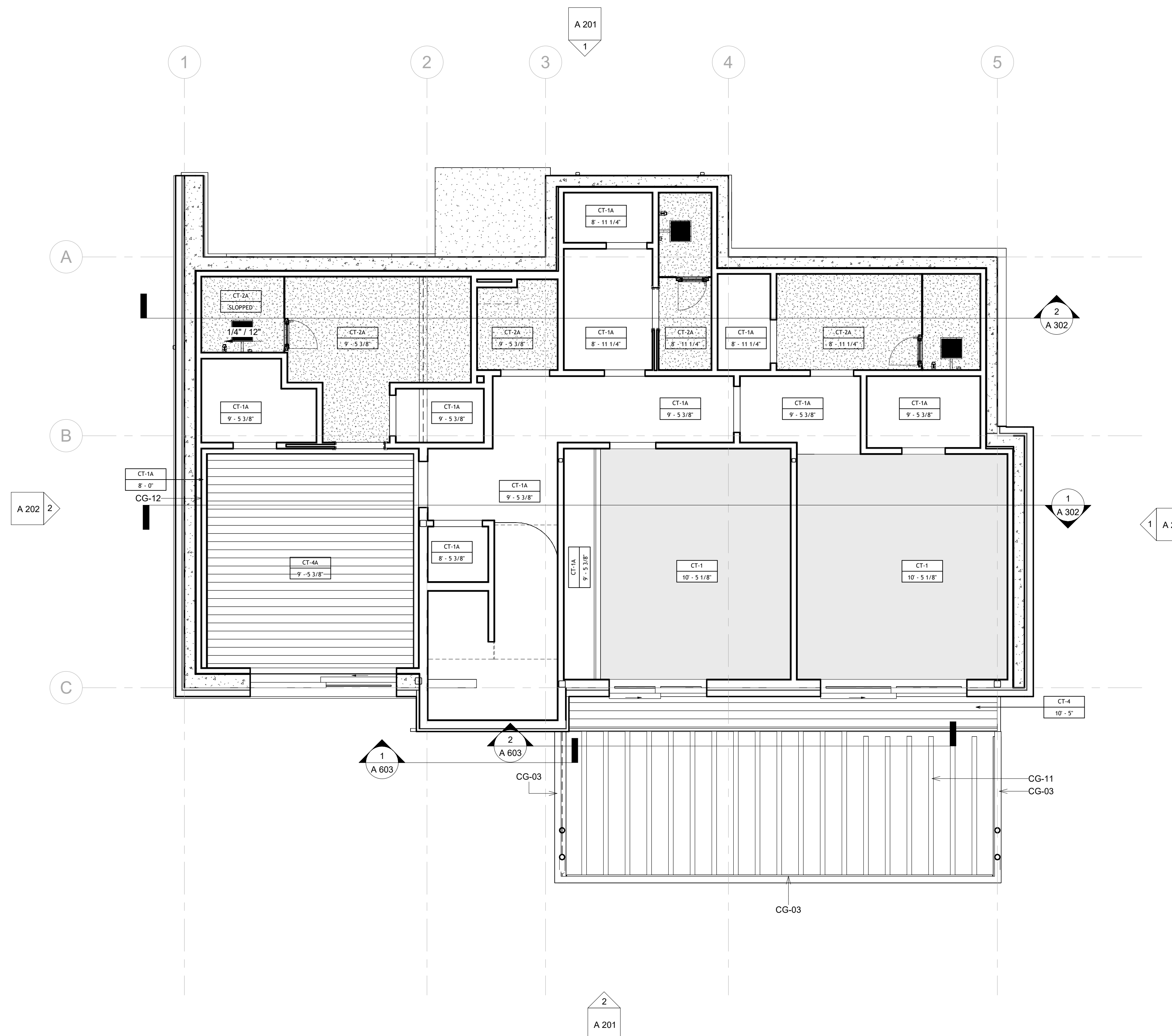
A 105

Scale: As indicated

REFLECTED CEILING PLAN GENERAL NOTES	
1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.	
2. ALL CEILING HEIGHTS MEASURED FORM TOP OF PLYWOOD OR CONCRETE SLAB TO BOTTOM OF CEILING FRAMING, U.N.O. -SEE SECTIONS	
3. REFER TO ENLARGED PLANS FOR ALL UNITS DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.	
4. REFER TO ENLARGED PLANS FOR ALL DECKS.	
5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.	
6. SEE SHEET G002 FOR PROJECT SPECIFICATION LIST. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.	
7. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.	
8. ALL INTERIOR FINISHES ARE NOTED FOR CONCEPT ONLY. SEE INTERIOR DRAWINGS FOR MATERIAL SPECIFICATIONS, COLORS, PATTERNS, AND OTHER REQUIREMENTS PRIOR TO INSTALLATION.	
CEILING TAG SYMBOL	DESCRIPTION
C1	CEILING TYPE
1' - 0"	HEIGHT

REFLECTED CEILING PLAN MATERIAL LEGEND					
HATCH PATTERN	TYPE	DESCRIPTION	HATCH PATTERN	TYPE	DESCRIPTION
[Hatch Pattern]	CT-1	5/8" GYPSUM BOARD AT FRAMING.	[Hatch Pattern]	CT-4	WOOD CEILING AT FRAMING AS PER OWNER
[Hatch Pattern]	CT-1A	5/8" GYPSUM BOARD AT 2X4 DROP CEILING.	[Hatch Pattern]	CT-5	EXPOSED UNDERSIDE OF DECKING
[Hatch Pattern]	CT-2A	5/8" WATER RESISTANT GYPSUM BOARD AT 2X4 DROP CEILING.	[Hatch Pattern]		EXPOSED STEEL PLATE

REFLECTED CEILING PLAN MATERIAL PLAN	
Key Value	Keynote Text
CG-03	STRUCTURAL BEAM- SEE STRUCTURAL DRAWINGS/BEAM TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN.
CG-10	STEEL PLATE AWNING.
CG-11	HEAVY TIMBER - SEE STRUCTURAL
CG-12	CEILING SOFFIT 4"WX6"H TO COVER STEEL BEAM



1 BASEMENT FLOOR PLAN
1/4" = 1'-0"



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10226 N LIV PL,
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LEVEL 0 CEILING PLAN

Project Number 20203284
Date 10/26/2023
Drawn By DPH
Checked By EES

A 106

Scale: As indicated

REFLECTED CEILING PLAN GENERAL NOTES	
1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.	
2. ALL CEILING HEIGHTS MEASURED FORM TOP OF PLYWOOD OR CONCRETE SLAB TO BOTTOM OF CEILING FRAMING, U.N.O. -SEE SECTIONS	
3. REFER TO ENLARGED PLANS FOR ALL UNITS DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.	
4. REFER TO ENLARGED PLANS FOR ALL DECKS.	
5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.	
6. SEE SHEET G002 FOR PROJECT SPECIFICATION LIST. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.	
7. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.	
8. ALL INTERIOR FINISHES ARE NOTED FOR CONCEPT ONLY. SEE INTERIOR DRAWINGS FOR MATERIAL SPECIFICATIONS, COLORS, PATTERNS, AND OTHER REQUIREMENTS PRIOR TO INSTALLATION.	
CEILING TAG SYMBOL	DESCRIPTION
C1	CEILING TYPE
1' - 0"	HEIGHT

REFLECTED CEILING PLAN MATERIAL LEGEND					
HATCH PATTERN	TYPE	DESCRIPTION	HATCH PATTERN	TYPE	DESCRIPTION
[Hatch Pattern]	CT-1	5/8" GYPSUM BOARD AT FRAMING.	[Hatch Pattern]	CT-4	WOOD CEILING AT FRAMING AS PER OWNER
[Hatch Pattern]	CT-1A	5/8" GYPSUM BOARD AT 2X4 DROP CEILING.	[Hatch Pattern]	CT-5	EXPOSED UNDERSIDE OF DECKING
[Hatch Pattern]	CT-2A	5/8" WATER RESISTANT GYPSUM BOARD AT 2X4 DROP CEILING.	[Hatch Pattern]		EXPOSED STEEL PLATE

RFC 2	
Key Value	Keynote Text
CG-03	STRUCTURAL BEAM- SEE STRUCTURAL DRAWINGS/BEAM TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN.
CG-10	STEEL PLATE AWNING.
CG-11	HEAVY TIMBER - SEE STRUCTURAL
CG-12	CEILING SOFFIT 4"WX6"H TO COVER STEEL BEAM



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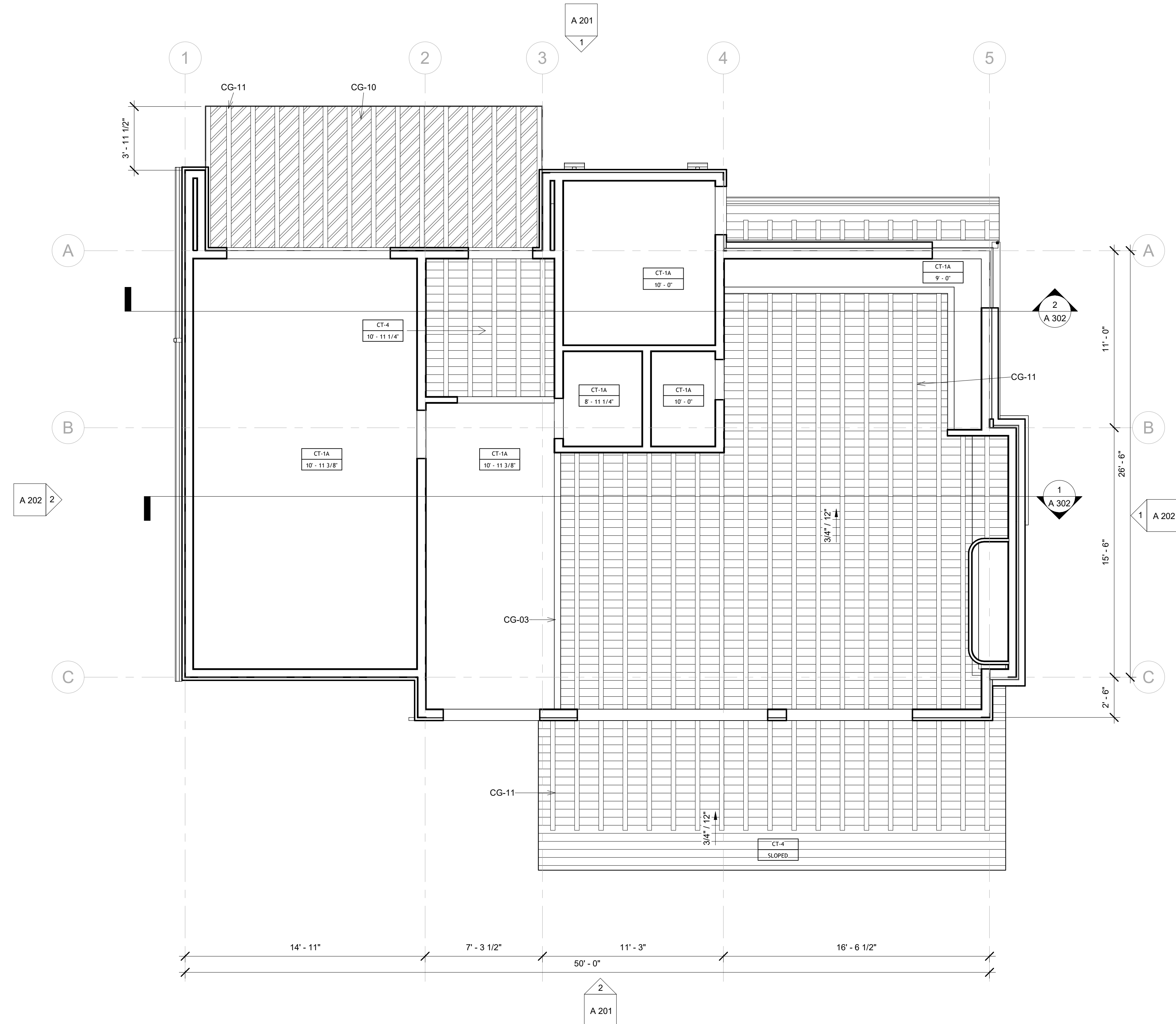
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LEVEL 1 CEILING PLAN

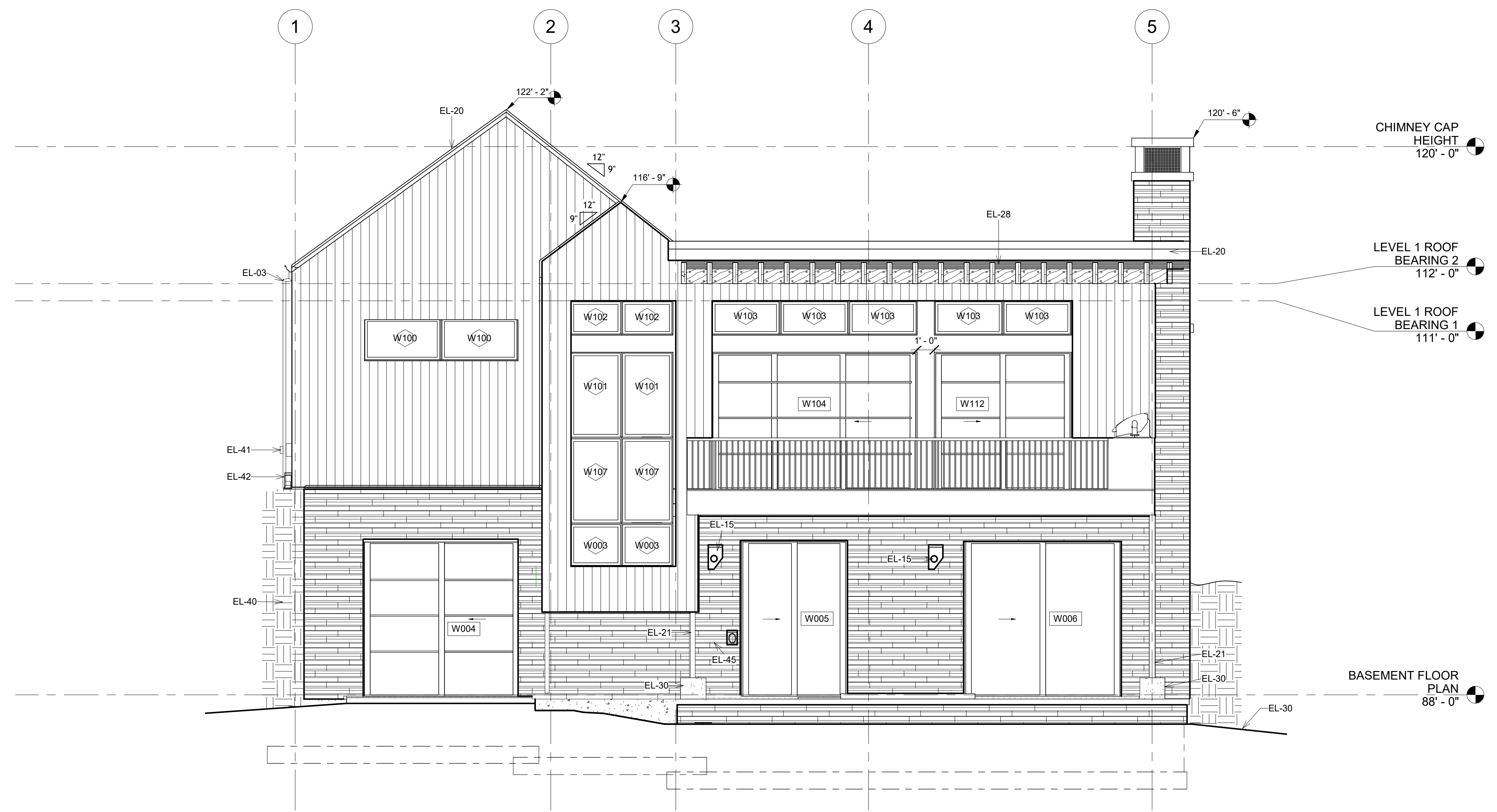


1 FIRST FLOOR PLAN
 1/4" = 1'-0"

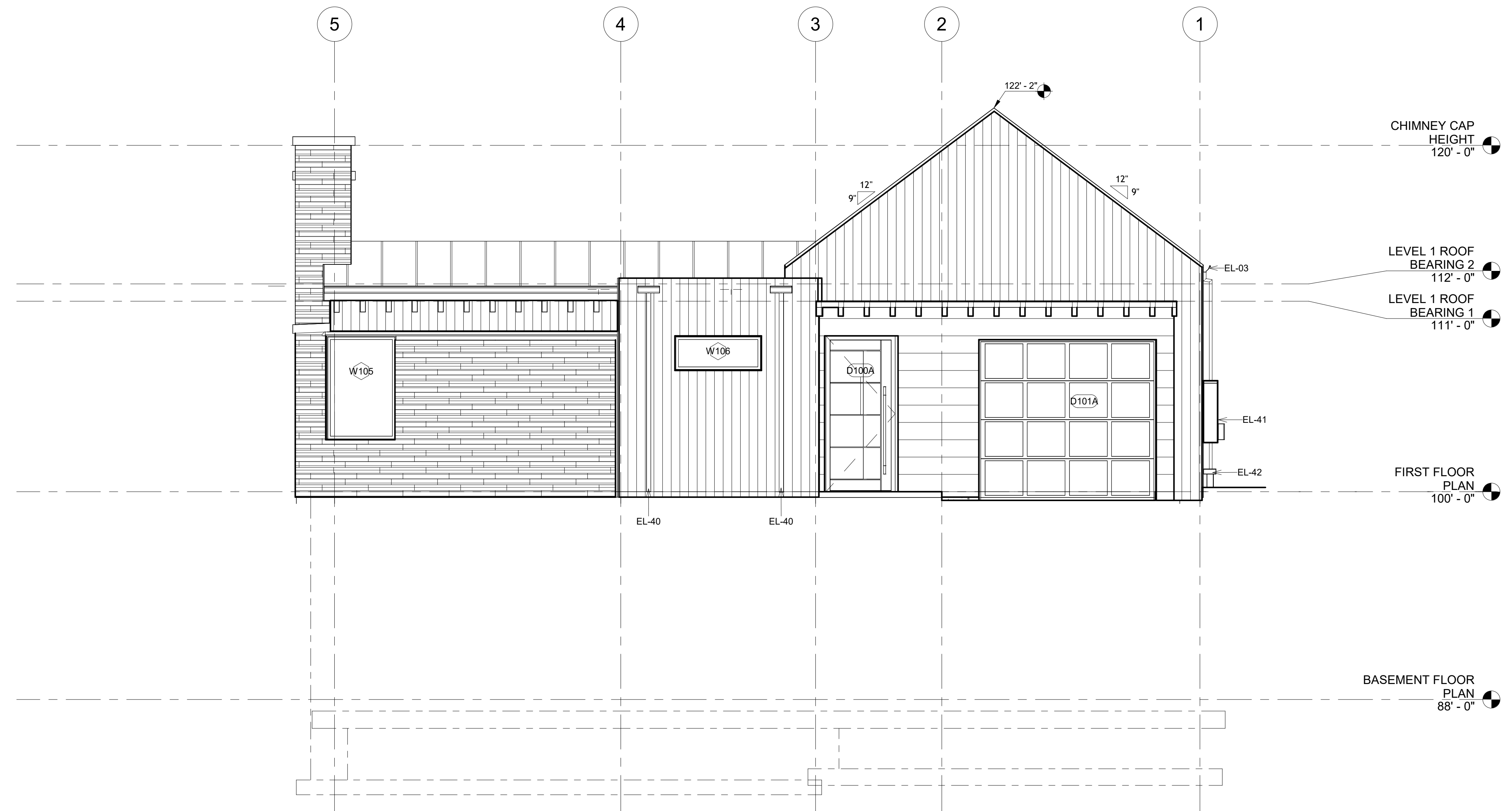
Project Number	20203284
Date	10/26/2023
Drawn By	DPH
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A 107

Scale: As indicated



② South
1/4" = 1'-0"



① NORTH
1/4" = 1'-0"

ELEVATION / SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	EXTERIOR VENEER
[Hatch Pattern]	22 GA. STEEL SIDING PANELS, BREAK METAL AND TRIM
[Hatch Pattern]	VERTICAL WOOD LAP SIDING WITH SQUARE EDGES
[Hatch Pattern]	STANDING SEAM METAL ROOFING SYSTEM
NOTES: 1. REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL. 2. FOR TYPICAL TRANSITIONS OF MATERIALS SEE SHEET A502.	

ELEVATIONS	
Key Value	Keynote Text
EL-01	CONTRACTOR SHALL VERIFY THAT ALL GRADE SLOPES AWAY FROM BUILDING. SLOPE SHALL BE 6" SLOPE IN FIRST 10'-0"
EL-02	CONTRACTOR TO COORDINATE WITH CIVIL DRAWINGS FOR LOCATION OF UTILITIES, AND COORDINATE GAS AND ELECTRICAL METERS ON BUILDING AND SHALL PROVIDE PROTECTION
EL-03	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP
EL-15	EXTERIOR WALL MOUNTED LIGHT FIXTURE
EL-20	PREFINISHED METAL FASCIA
EL-21	STEEL PIPE COLUMN, SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS. PAINT COLOR PER OWNER, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
EL-23	MECHANICAL AIR CONDITIONER UNIT. SEPARATION BETWEEN UNITS AND MAINTENANCE CLEARANCES PER MANUF.
EL-28	HEAVY TIMBER. SEE STRUCTURAL
EL-30	ARCHITECTURAL GRADE CONCRETE FINISH ON ALL EXPOSED CONCRETE
EL-37	BBO-GRILL AS SELECTED BY OWNER
EL-40	FOR TERMINATION OF DOWNSPOUTS SEE LANDSCAPE PLANS
EL-41	ELECTRICAL - MAIN ELECTRICAL PANEL WITH METER - INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER. SEE ELECTRICAL
EL-42	GAS METER. INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER - PROVIDE PROTECTIVE COVER (SHOWN DASHED) AS REQUIRED BY UTILITY PROVIDER
EL-45	ELECTRICAL EQUIPMENT- SEE ELECTRICAL DRAWINGS



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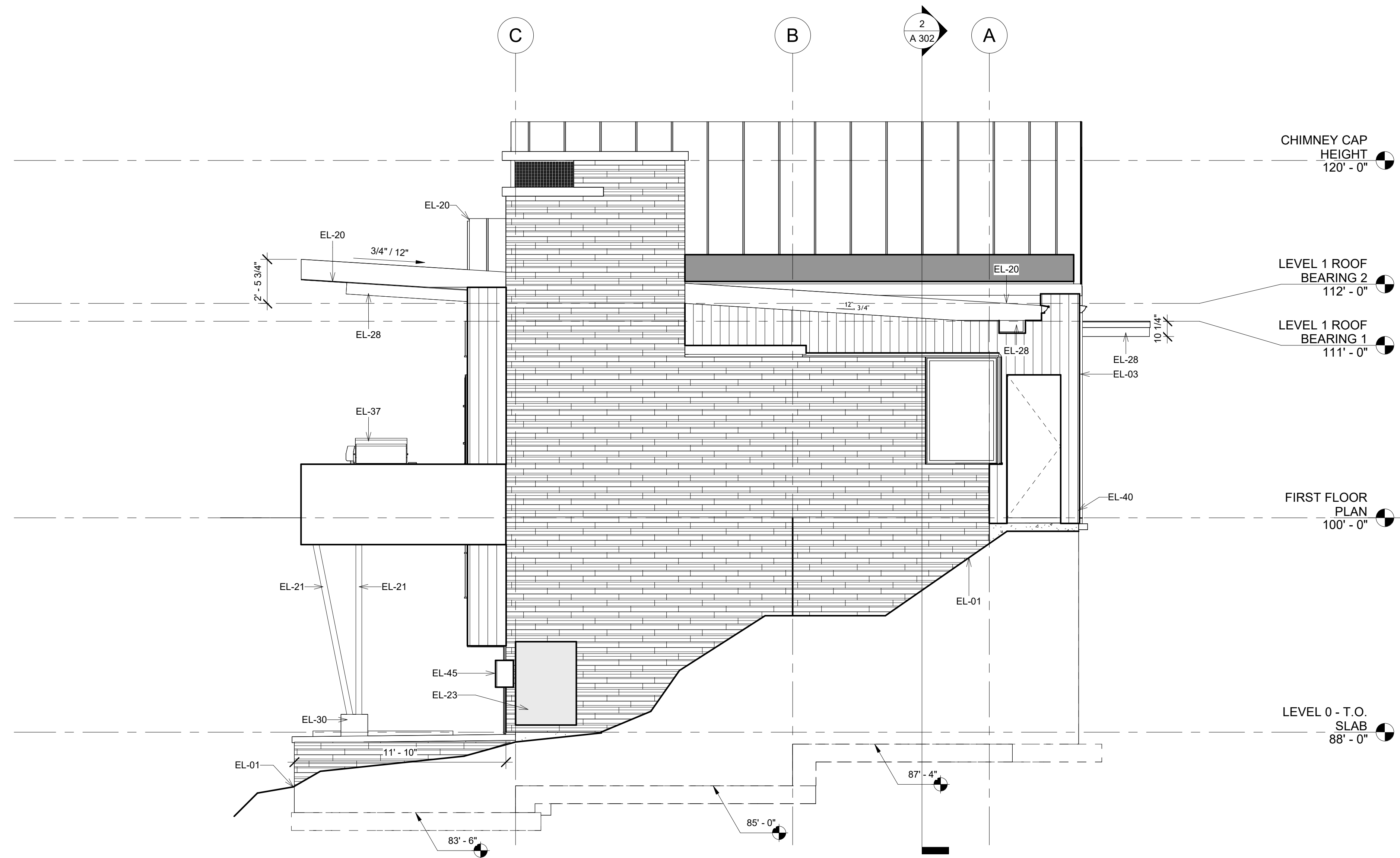
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Lot C-07

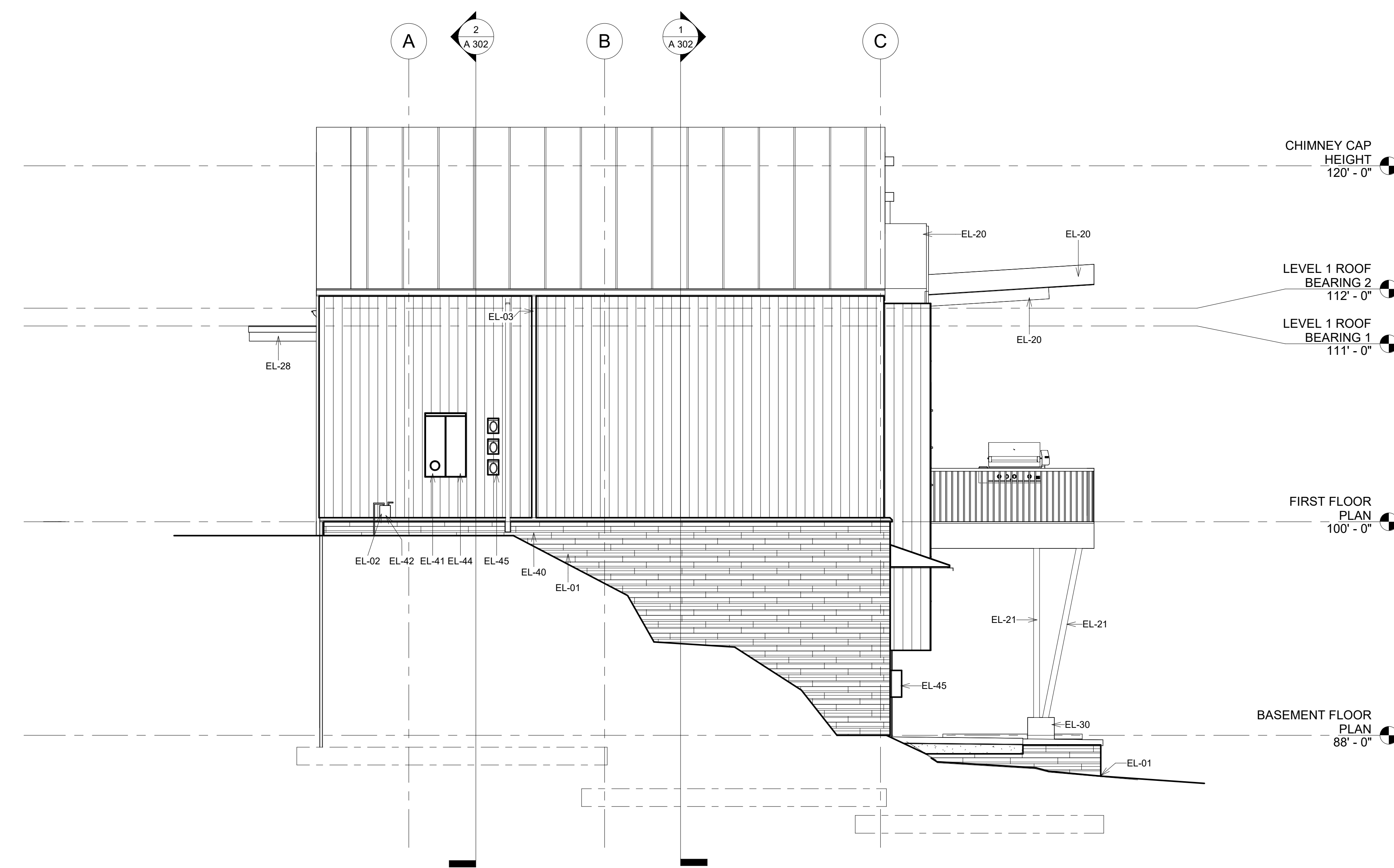
EXTERIOR ELEVATIONS

Project Number	20203284
Date	10/26/2023
Drawn By	EES
Checked By	DPH
A 201	
Scale:	As indicated

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① East
1/4" = 1'-0"



② West
1/4" = 1'-0"

ELEVATION / SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	EXTERIOR VENEER
[Hatch Pattern]	22 GA. STEEL SIDING PANELS, BREAK METAL AND TRIM
[Hatch Pattern]	VERTICAL WOOD LAP SIDING WITH SQUARE EDGES
[Hatch Pattern]	STANDING SEAM METAL ROOFING SYSTEM
NOTES: 1. REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL 2. FOR TYPICAL TRANSITIONS OF MATERIALS SEE SHEET A502.	

ELEVATION / SECTION KEYNOTES	
Key Value	Keynote Text
EL-01	CONTRACTOR SHALL VERIFY THAT ALL GRADE SLOPES AWAY FROM BUILDING. SLOPE SHALL BE 6" SLOPE IN FIRST 10'-0"
EL-02	CONTRACTOR TO COORDINATE WITH CIVIL DRAWINGS FOR LOCATION OF UTILITIES, AND COORDINATE GAS AND ELECTRICAL METERS ON BUILDING AND SHALL PROVIDE PROTECTION
EL-03	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP
EL-15	EXTERIOR WALL MOUNTED LIGHT FIXTURE
EL-20	PREFINISHED METAL FASCIA
EL-21	STEEL PIPE COLUMN, SEE STRUCTURAL-TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAINT COLOR PER OWNER, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
EL-23	MECHANICAL AIR CONDITIONER UNIT- SEPARATION BETWEEN UNITS AND MAINTENANCE CLEARANCES PER MANUF.
EL-28	HEAVY TIMBER, SEE STRUCTURAL
EL-30	ARCHITECTURAL GRADE CONCRETE FINISH ON ALL EXPOSED CONCRETE
EL-37	BBQ-GRILL AS SELECTED BY OWNER
EL-40	FOR TERMINATION OF DOWNSPOUTS SEE LANDSCAPE PLANS
EL-41	ELECTRICAL - MAIN ELECTRICAL PANEL WITH METER - INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER- SEE ELECTRICAL
EL-42	GAS METER, INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER - PROVIDE PROTECTIVE COVER (SHOWN DASHED) AS REQUIRED BY UTILITY PROVIDER
EL-44	PROVIDE A U-FER GROUND, AN ELECTRODE ENCASED BY AT LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG.(I.R.C.E3508.1.2 AND N.E.C.250.50)
EL-45	ELECTRICAL EQUIPMENT- SEE ELECTRICAL DRAWINGS



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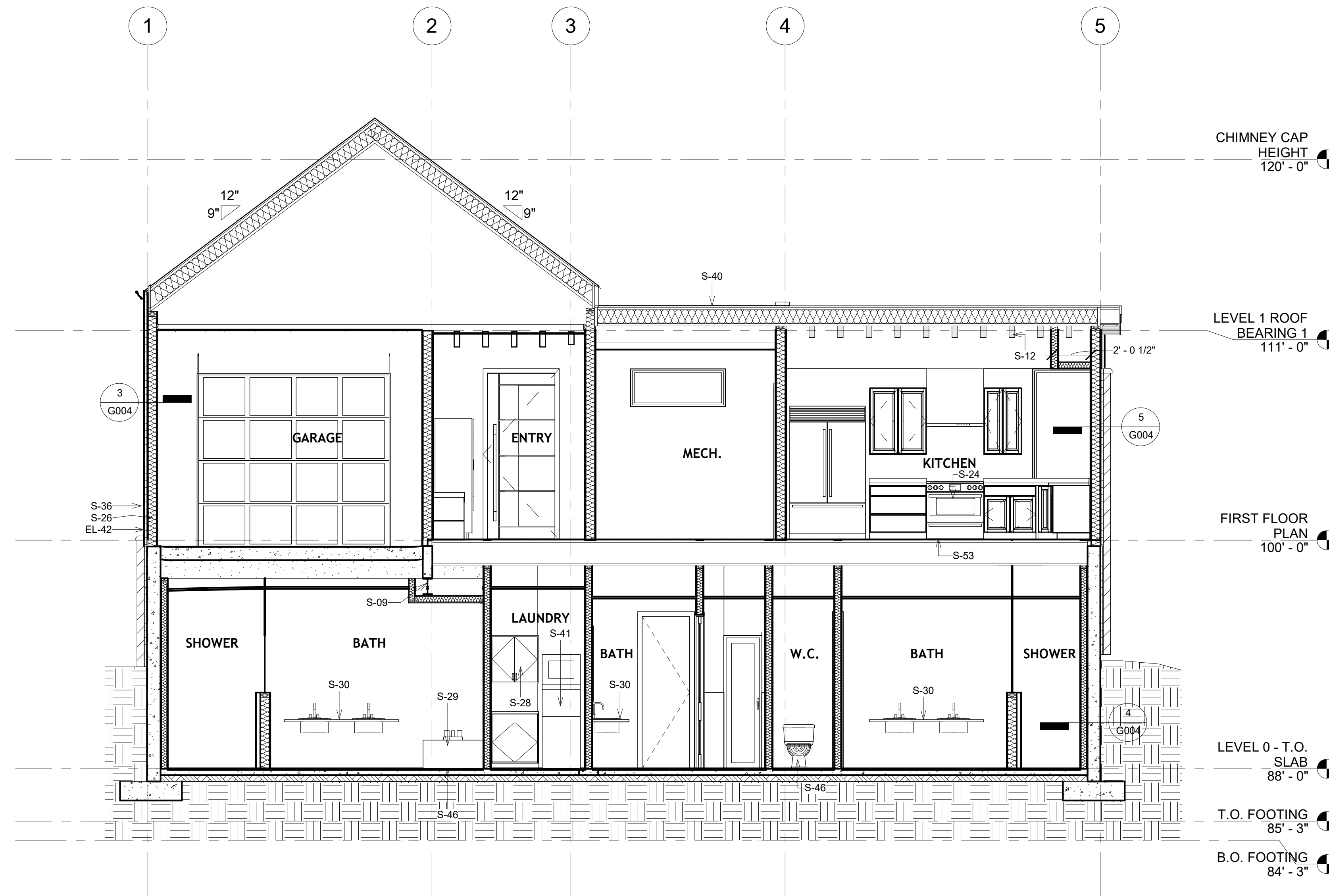
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EXTERIOR ELEVATIONS

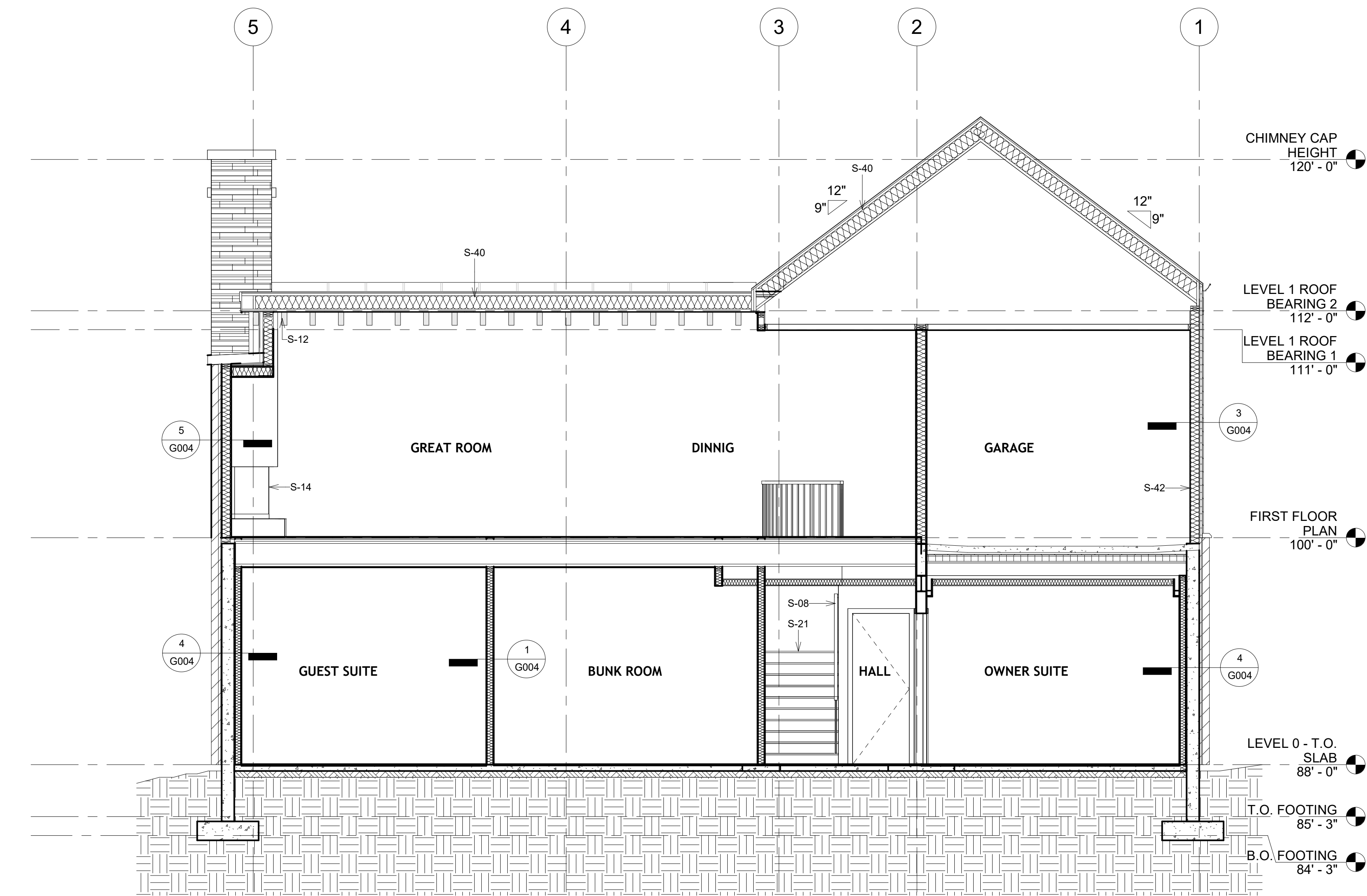
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Date 10/26/2023
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A 202

Scale: As indicated



2 BUILDING SECTION
1/4" = 1'-0"



1 BUILDING SECTION
1/4" = 1'-0"

FLOOR PLAN LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	EXTERIOR VENEER
[Hatch Pattern]	22 GA. STEEL SIDING PANELS, BREAK METAL AND TRIM
[Hatch Pattern]	VERTICAL WOOD LAP SIDING WITH SQUARE EDGES
[Hatch Pattern]	STANDING SEAM METAL ROOFING SYSTEM
NOTES: 1. REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL 2. FOR TYPICAL TRANSITIONS OF MATERIALS SEE SHEET A502.	

BUILDING SECTIONS	
Key Value	Keynote Text
S-08	GUARDRAIL-36" MIN. - SEE DETAIL.
S-09	STEEL BEAM, SEE STRUCTURAL-TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAINT COLOR PER OWNER, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
S-12	HEAVY TIMBER, SEE STRUCTURAL
S-14	FIREPLACE, AS SELECTED BY OWNER, WALL FINISHES PER INTERIOR DESIGN- PROVIDE GAS HOOKUP PER MANUFACTURER'S INSTRUCTIONS
S-21	SEE ENLARGED STAIRS AND DETAILS ON SHEET A401 AND A402
S-24	ALL KITCHEN INTERIORS INCLUDING LIGHTING FIXTURES AND CASEWORK PER INTERIOR DESIGN
S-26	PROVIDE A U-FER GROUND, AN ELECTRODE ENCASED BY AT LEAST 2" OF CONCRETE-SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG (I.R.C.E3508.1.2 AND N.E.C.250.50)
S-28	CASEWORK PER INTERIOR DESIGNER
S-29	BATH TUB AS PER INTERIOR DESIGNER
S-30	VANITY AND PLUMBING FIXTURES PER INTERIOR DESIGNER
S-36	ELECTRICAL - MAIN ELECTRICAL PANEL WITH METER - INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER- SEE ELECTRICAL PLANS
S-38	PROVIDE 100% SOLIDS EPOXY, HIGH PERFORMANCE COATING
S-40	CAVITY INSULATION PER SCHEDULE
S-41	STACKABLE WASHER/ DRYER, COORDINATE W/ INTERIOR DESIGNER & CONSTRUCTION TRADES AS REQUIRED
S-42	WALL MOUNTED SKI RACK
S-46	CONTRACTOR TO COORDINATE LOCATION OF PLUMBING FIXTURES WITH PLANS AND IN THE FIELD PRIOR TO POURING CONCRETE SLAB-SETTING BED TO PROVIDE SLOPE
S-53	CONTRACTOR TO COORDINATE LOCATION OF PLUMBING FIXTURES WITH PLANS AND IN THE FIELD TO PROVIDE SLOPE AND/OR FIRESTOP BLOCKING/CAULKING AS REQUIRED



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Lot C-07

BUILDING SECTIONS

Project Number	20203284
Date	10/26/2023
Drawn By	EES
Checked By	DPH

A 302

Scale: As indicated

VALVAERE - CABIN B

Emily Schmidt
David Hartung
Glen Erickson
Logan Prochnow
Chloe Lawrence
Mikaela Prochnow

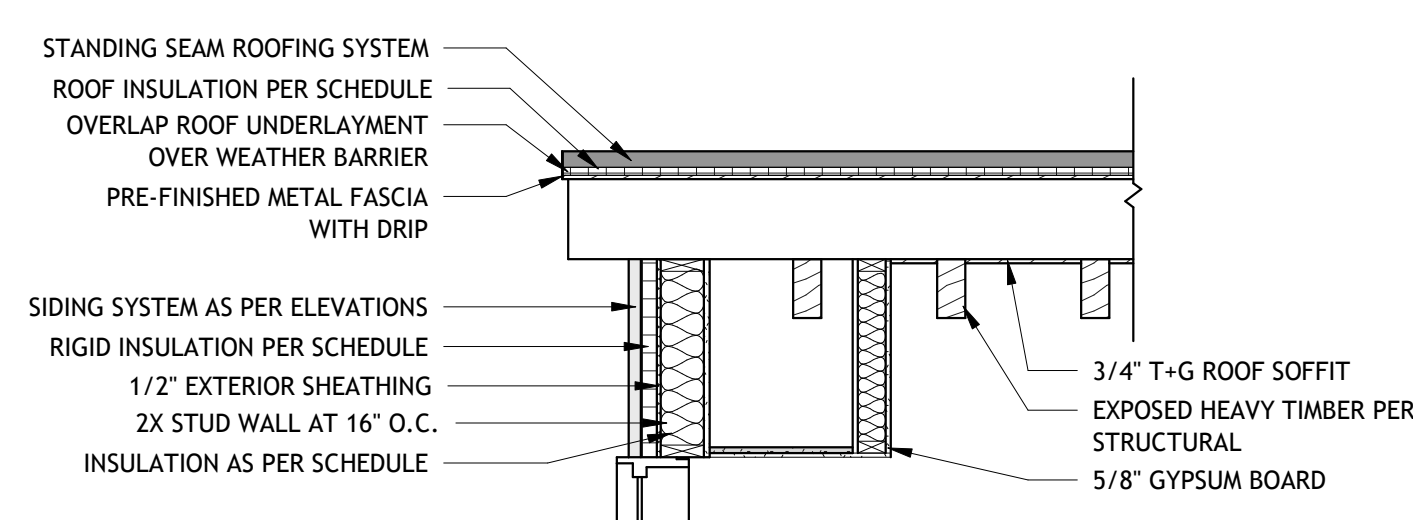
VALVAERE - CABIN B

10226 N LIV PL,
Park City, Utah

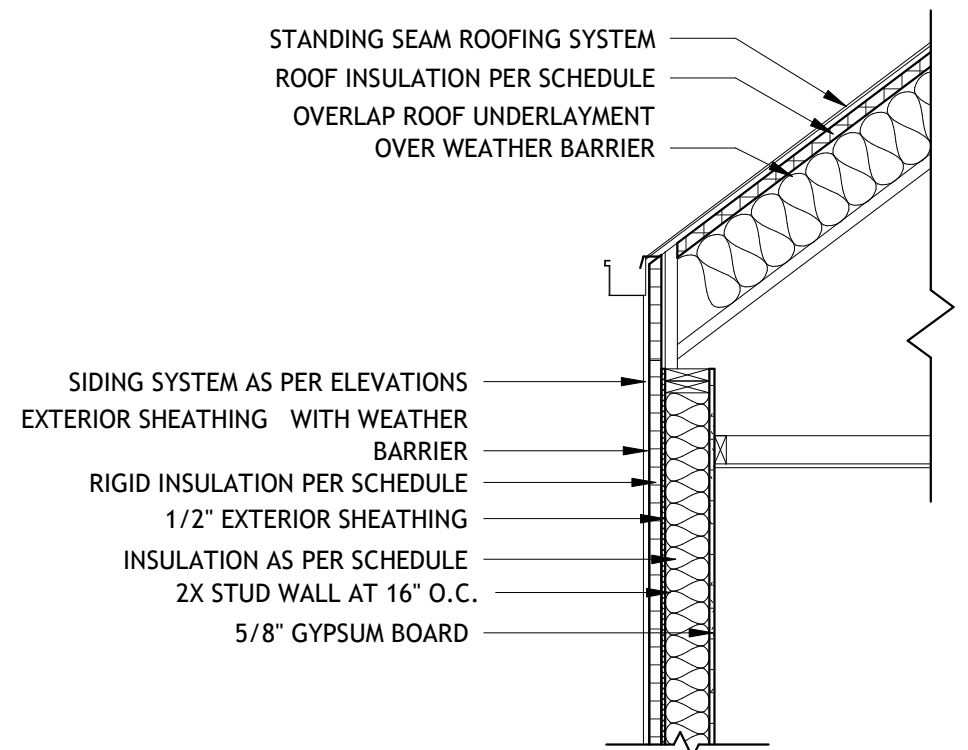
Lot C-07

ROOF DETAILS

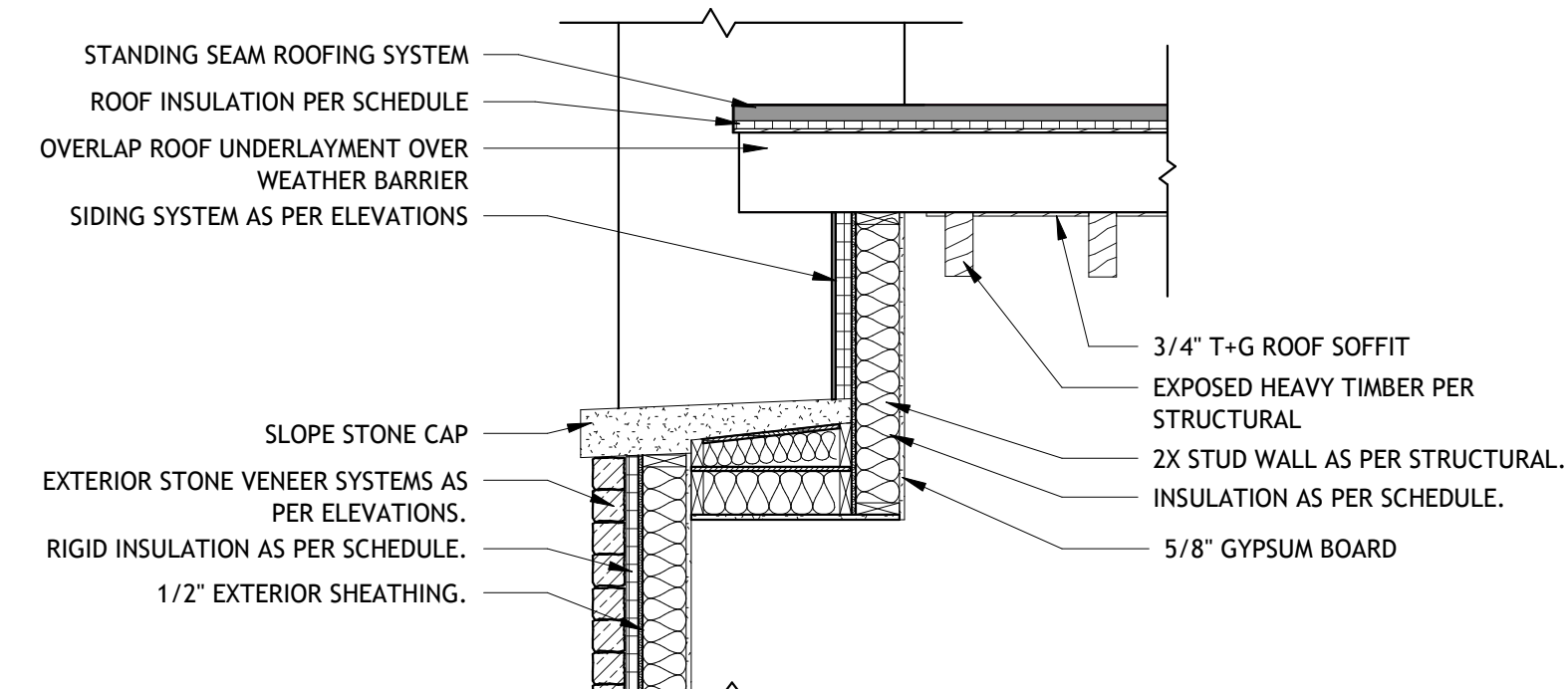
Project Number	20203284
Date	10/26/2023
Drawn By	EES
Checked By	DPH
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Scale:	As indicated



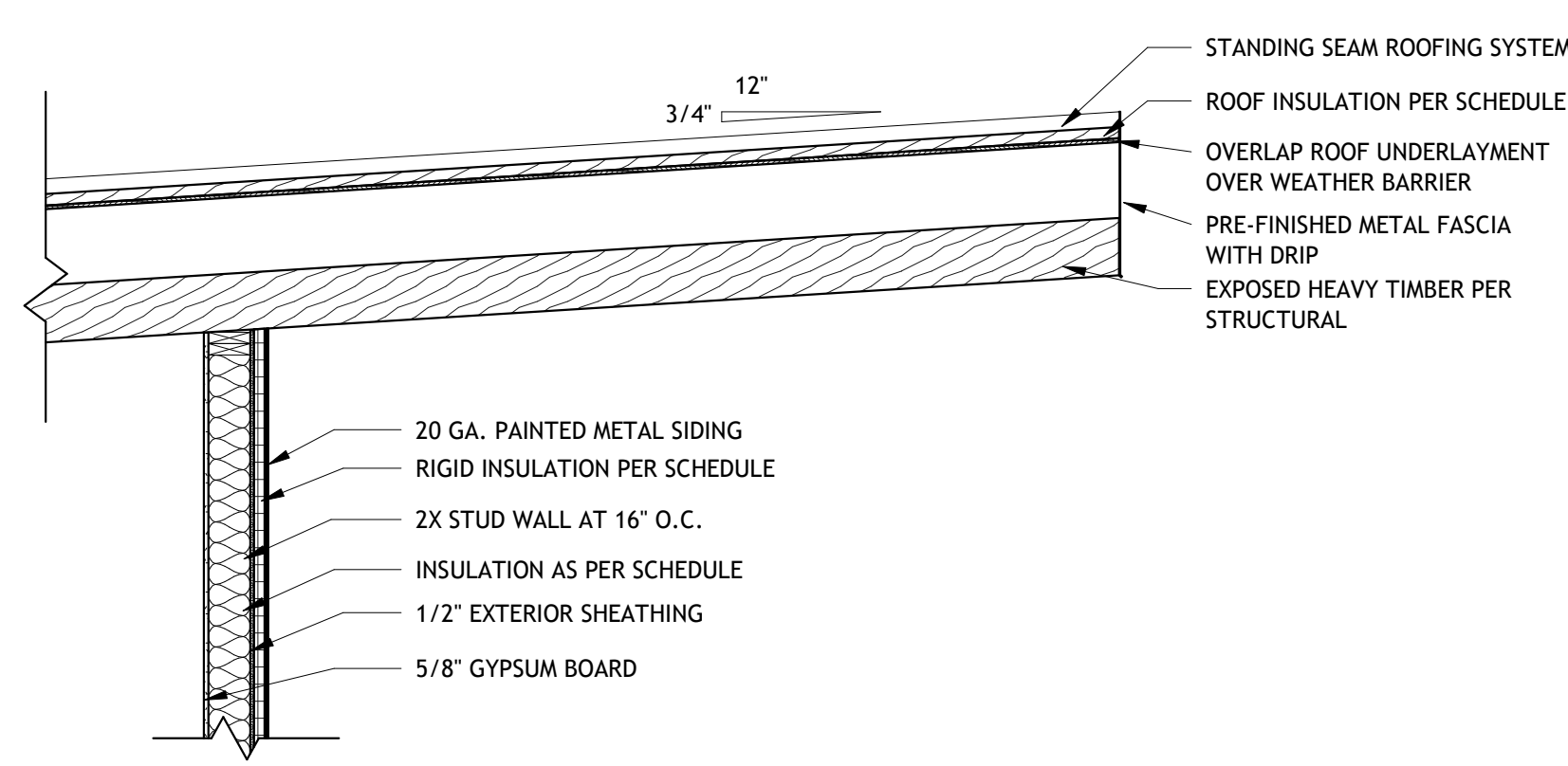
6 -1 ON pdf ROOF DETAIL
1/2" = 1'-0"



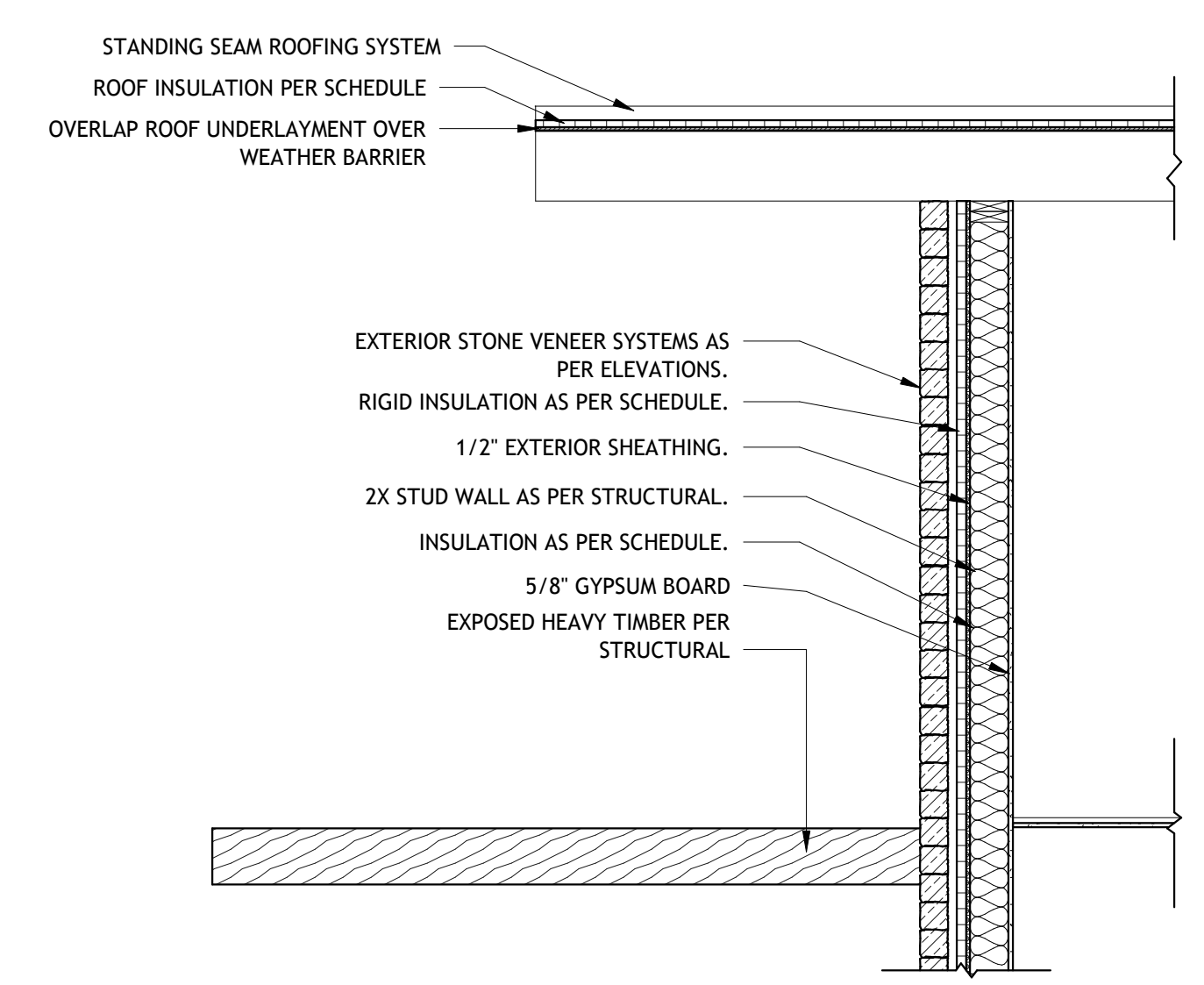
5 ROOF DETAIL 4
1/2" = 1'-0"



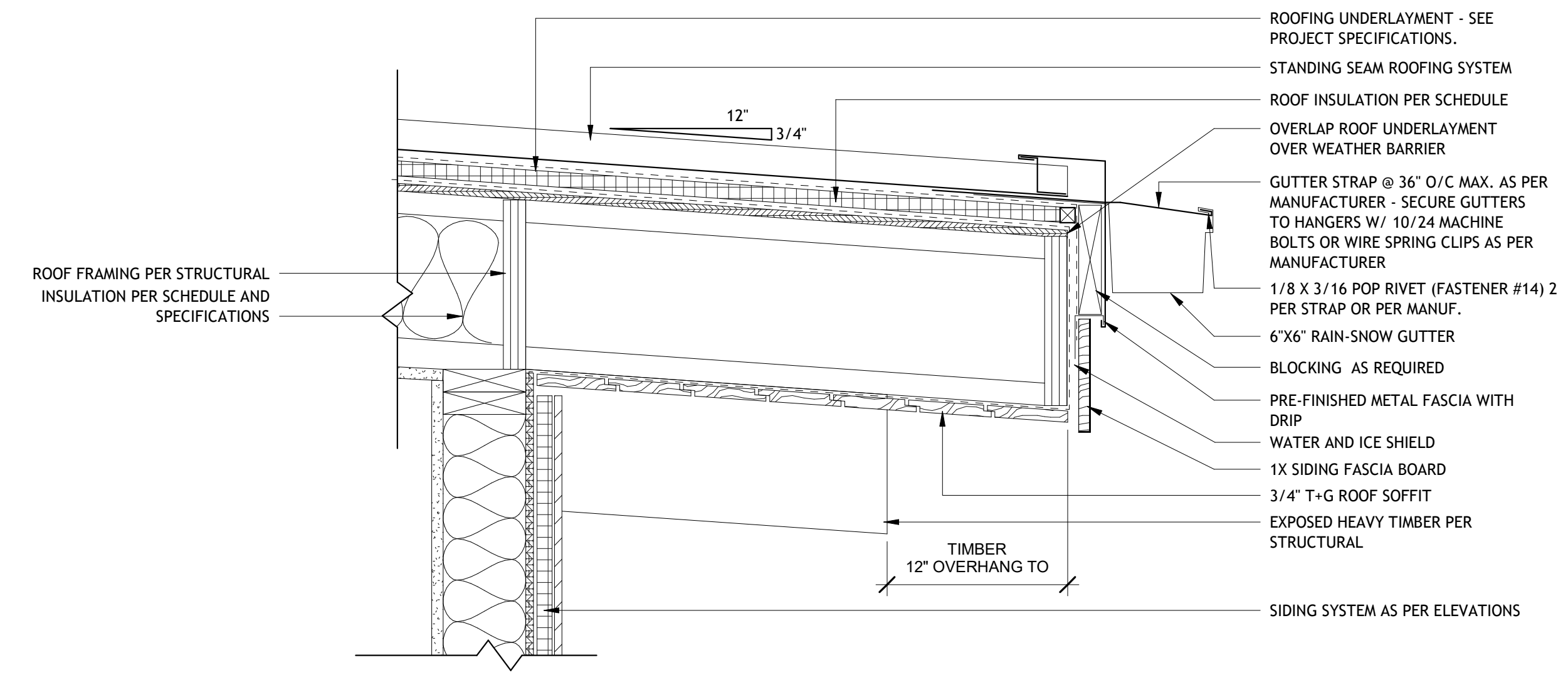
4 2 on PDF ROOF DETAIL
1/2" = 1'-0"



3 ROOF DETAIL 5
1/2" = 1'-0"



2 ROOF DETAIL 3
1/2" = 1'-0"



1 ROOF EAVE DETAIL AT LOW
1 1/2" = 1'-0"

DOOR SCHEDULE												
MARK	DOOR						FRAME			FIRE RATING	HARDWARE	REMARKS
	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	FINISH	MATERIAL	TYPE	FINISH			
D001A	3'-0"	8'-0"	2 1/4"	WOOD	D2	PER I.D.	PER I.D.	F1	PER I.D.	NON-RATED	H5	
D001B	3'-0"	8'-0"	2 1/4"	WOOD	D2	PER I.D.	PER I.D.	F1	PER I.D.	NON-RATED	H5	USE CUSTOM THRESHOLD AND SEAL
D002A	2'-10"	8'-0"	2 1/4"	WOOD	D2	PER I.D.	PER I.D.	F1	PER I.D.	NON-RATED	H8	
D002B	3'-0"	8'-0"	1 1/2"	WOOD	D3	PER I.D.	WOOD	F1	PER I.D.	NON-RATED	H12	POCKET DOOR
D002C	2'-6"	8'-0"	2 1/4"	WOOD	D2	PER I.D.	WOOD	F1	PER I.D.	NON-RATED	H8	
D002D	2'-0"	7'-0"	3/8"	GLASS	D4	PER I.D.	PER I.D.	PER I.D.	PER I.D.	NON-RATED	PER I.D.	TEMPERED GLASS AS PER INTERIOR DESIGN
D002E	2'-8"	8'-0"	2 1/4"	WOOD	D2	PER I.D.	WOOD	F1	PER I.D.	NON-RATED	H5	
D003A	2'-10"	8'-0"	2 1/4"	WOOD	D2	PER I.D.	WOOD	F1	PER I.D.	NON-RATED	H8	
D003B	2'-6"	8'-0"	2 1/4"	WOOD	D2	PER I.D.	WOOD	F1	PER I.D.	NON-RATED	H8	
D003C	2'-6"	8'-0"	1 1/2"	WOOD	D3	PER I.D.	WOOD	F1	PER I.D.	NON-RATED	H12	POCKET DOOR
D003D	2'-0"	7'-0"	3/8"	GLASS	D4	PER I.D.	PER I.D.	PER I.D.	PER I.D.	NON-RATED	PER I.D.	TEMPERED GLASS AS PER INTERIOR DESIGN
D003E	2'-6"	8'-0"	2 1/4"	WOOD	D2	PER I.D.	WOOD	F1	PER I.D.	NON-RATED	H8	
D004A	2'-10"	8'-0"	2 1/4"	WOOD	D2	PER I.D.	WOOD	F1	PER I.D.	NON-RATED	H8	
D004B	2'-8"	8'-0"	2 1/4"	WOOD	D2	PER I.D.	WOOD	F1	PER I.D.	NON-RATED	H8	
D004C	2'-8"	8'-0"	2 1/4"	WOOD	D2	PER I.D.	WOOD	F1	PER I.D.	NON-RATED	H8	
D004D	2'-0"	7'-0"	3/8"	GLASS	D4	PER I.D.	PER I.D.	PER I.D.	PER I.D.	NON-RATED	PER I.D.	TEMPERED GLASS AS PER INTERIOR DESIGN
D004E	2'-8"	8'-0"	2 1/4"	WOOD	D2	PER I.D.	WOOD	F1	PER I.D.	NON-RATED	H5	
D100A	4'-0"	9'-0"	3 1/32"	WOOD/METAL	D5	PER OWNER	METAL	--	PER OWNER	NON-RATED	H10	VELVAERE ENTRY DOOR
D100B	2'-6"	8'-0"	2 1/4"	WOOD	D2	PER I.D.	WOOD	F1	PER I.D.	NON-RATED	H8	
D100C	2'-6"	8'-0"	2 1/4"	WOOD	D2	PER I.D.	WOOD	F1	PER I.D.	NON-RATED	H5	
D101A	10'-0"	9'-0"	2 3/4"	PER MANUF.	D6	PER OWNER	METAL	--	PER OWNER	NON-RATED	H2	GARAGE DOOR PER OWNER
D101B	3'-0"	8'-0"	2 1/4"	WOOD	D1	PER I.D.	WOOD	F1	PER I.D.	20 MIN.	H4	GARAGE TO LIVING SPACES
D107A	3'-0"	8'-0"	2 1/4"	WOOD	D1	PER OWNER	WOOD	F1	PER OWNER	NON-RATED	H4	MECH. ROOM EXTERIOR

WINDOW SCHEDULE										
MARK	UNIT SIZE		HEAD HEIGHT	OPERATION	MATERIAL	FINISH	GLAZING		COMMENTS	
	WIDTH	HEIGHT					THICKNESS	TYPE		
W003	3'-0"	2'-6"	10'-0"	FIXED	ALUMINUM	PAINT	PER MANUFACTURER	CARDINAL 366 LOWe	TEMPERED	
W004	9'-0"	9'-0"	8'-11"	DOOR SLIDER DOUBLE	ALUMINUM	PAINT	PER MANUFACTURER	CARDINAL 366 LOWe	TEMPERED	
W005	6'-0"	9'-0"	8'-11"	DOOR SLIDER DOUBLE	ALUMINUM	PAINT	PER MANUFACTURER	CARDINAL 366 LOWe	TEMPERED	
W006	9'-0"	9'-0"	8'-11"	DOOR SLIDER DOUBLE	ALUMINUM	PAINT	PER MANUFACTURER	CARDINAL 366 LOWe	TEMPERED	
W100	4'-6"	2'-6"	10'-0"	FIXED	ALUMINUM	PAINT	PER MANUFACTURER	CARDINAL 366 LOWe		
W101	3'-0"	5'-0"	8'-0"	FIXED	ALUMINUM	PAINT	PER MANUFACTURER	CARDINAL 366 LOWe		
W102	3'-0"	2'-0"	11'-0"	FIXED	ALUMINUM	PAINT	PER MANUFACTURER	CARDINAL 366 LOWe		
W103	4'-0"	2'-0"	11'-0"	FIXED	ALUMINUM	PAINT	PER MANUFACTURER	CARDINAL 366 LOWe		
W104	11'-10"	7'-11"	7'-11"	DOOR SLIDER TRIPLE	ALUMINUM	PAINT	PER MANUFACTURER	CARDINAL 366 LOWe	TEMPERED	
W105	4'-0"	6'-0"	9'-0"	CORNER WINDOW	ALUMINUM	PAINT	PER MANUFACTURER	CARDINAL 366 LOWe		
W106	5'-0"	2'-0"	9'-0"	FIXED	ALUMINUM	PAINT	PER MANUFACTURER	CARDINAL 366 LOWe		
W107	3'-0"	5'-0"	15'-0"	FIXED	ALUMINUM	PAINT	PER MANUFACTURER	CARDINAL 366 LOWe		
W112	7'-10"	7'-11"	7'-11"	DOOR SLIDER DOUBLE	ALUMINUM	PAINT	PER MANUFACTURER	CARDINAL 366 LOWe	TEMPERED	

WINDOW GENERAL NOTES:

- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R310.
 - BASEMENTS WITH HABITABLE SPACES SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR DOOR OR ACCESS TO AN ADJOINING BEDROOM WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW.
 - ALL EMERGENCY OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES. EMERGENCY OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS. EXCEPT GROUND FLOOR, NET CLEAR AREA OF 5.0 SQUARE FEET. R310.1.1 TO R310.1.4.
 - WINDOW SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL. R310.2.2
 - WINDOW WELLS REQUIRED FOR ESCAPE OR RESCUE SHALL HAVE HORIZONTAL DIMENSIONS THAT ALLOW THE DOOR OR WINDOW TO BE FULLY OPENED. THE HORIZONTAL DIMENSION FOR THE WINDOW WELL SHALL PROVIDE A MINIMUM NET CLEAR AREA OF 9 SQUARE FEET WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES. R310.2.3
 - WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES BELOW THE ADJACENT GROUND LEVEL SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USEABLE WITH THE WINDOW IN THE FULLY OPENED POSITION. LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF AT LEAST 12 INCHES. SHALL PROJECT AT LEAST 3 INCHES FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL. R310.2.3.1
 - BARS, GRILLS, COVERS, SCREENS, ETC. SHALL BE PERMITTED TO BE PLACED OVER THE EMERGENCY EGRESS OPENING WINDOW WELL PROVIDED THE NET CLEAR OPENING SIZE IS NOT COMPROMISED AND THAT SUCH DEVICES SHALL BE RELEASED OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION. R310.4
- SAFETY GLAZING SHALL BE INSTALLED IN HAZARDOUS LOCATIONS AND SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R308. FOR EXCEPTIONS SEE I.R.C. R308.4.
 - EACH PANE OF GLASS INSTALLED IN HAZARDOUS LOCATIONS SHALL BE PERMANENTLY IDENTIFIED BY MANUFACTURER, DESIGNATING THE TYPE, THICKNESS, AND SAFETY GLAZING STANDARD. THE LABEL SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC FIRED OR EMBOSSED ON GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED. FOR EXCEPTIONS SEE I.R.C. R308.1.
 - PROVIDE SAFETY GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS (R308.4.1). SAFETY GLAZING SHALL BE PROVIDED WHEN GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE AND IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION OR WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR. (I.R.C. R308.4.2)
 - PROVIDE SAFETY GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS. (I.R.C. R308.4.6)
 - PROVIDE SAFETY GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING OR WALKING SURFACE. (I.R.C. R308.4.5)
 - PROVIDE SAFETY GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT. (I.R.C. R308.4.4)
 - PROVIDE SAFETY GLAZING IN WALLS AND FENCES ENCLOSING SWIMMING POOLS OR HOT TUBS WHERE THE BOTTOM EDGE OF THE POOL OR SPA GLASS IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE. (I.R.C. R308.4.5)
 - PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS: AREAS GREATER THAN 9 SQUARE FEET, BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR, TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR, AND WITHIN 36 INCHES OF WALKING SURFACE. (I.R.C. R308.4.3)
- THE GENERAL CONTRACTOR AND WINDOW SUPPLIER ARE RESPONSIBLE TO FIELD MEASURE ALL WINDOW OPENINGS AND PROVIDE SHOP DRAWINGS BEFORE MANUFACTURER. SHOP DRAWINGS SHALL BE PROVIDED FOR EACH BUILDING INDIVIDUALLY AND SHALL NOT BE COMBINED WITH ANY OTHER BUILDING.
- THE WINDOW SUPPLIER SHALL BE RESPONSIBLE TO VERIFY ALL EMERGENCY EGRESS, LIGHT AND VENTILATION, AND TEMPERED GLASS LOCATION REQUIREMENTS PRIOR TO EACH SUBMITTAL.
- THE GENERAL CONTRACTOR AND WINDOW SUPPLIER ARE RESPONSIBLE TO VERIFY THAT EACH OF THE ABOVE LISTED REQUIREMENTS HAVE BEEN MET AND NOTE ANY DISCREPANCIES ON SUBMITTAL.
- REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.



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800 N 6th St
Wahpeton, North Dakota

VALVAERE - CABIN B

Emily Schmidt
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VALVAERE - CABIN B

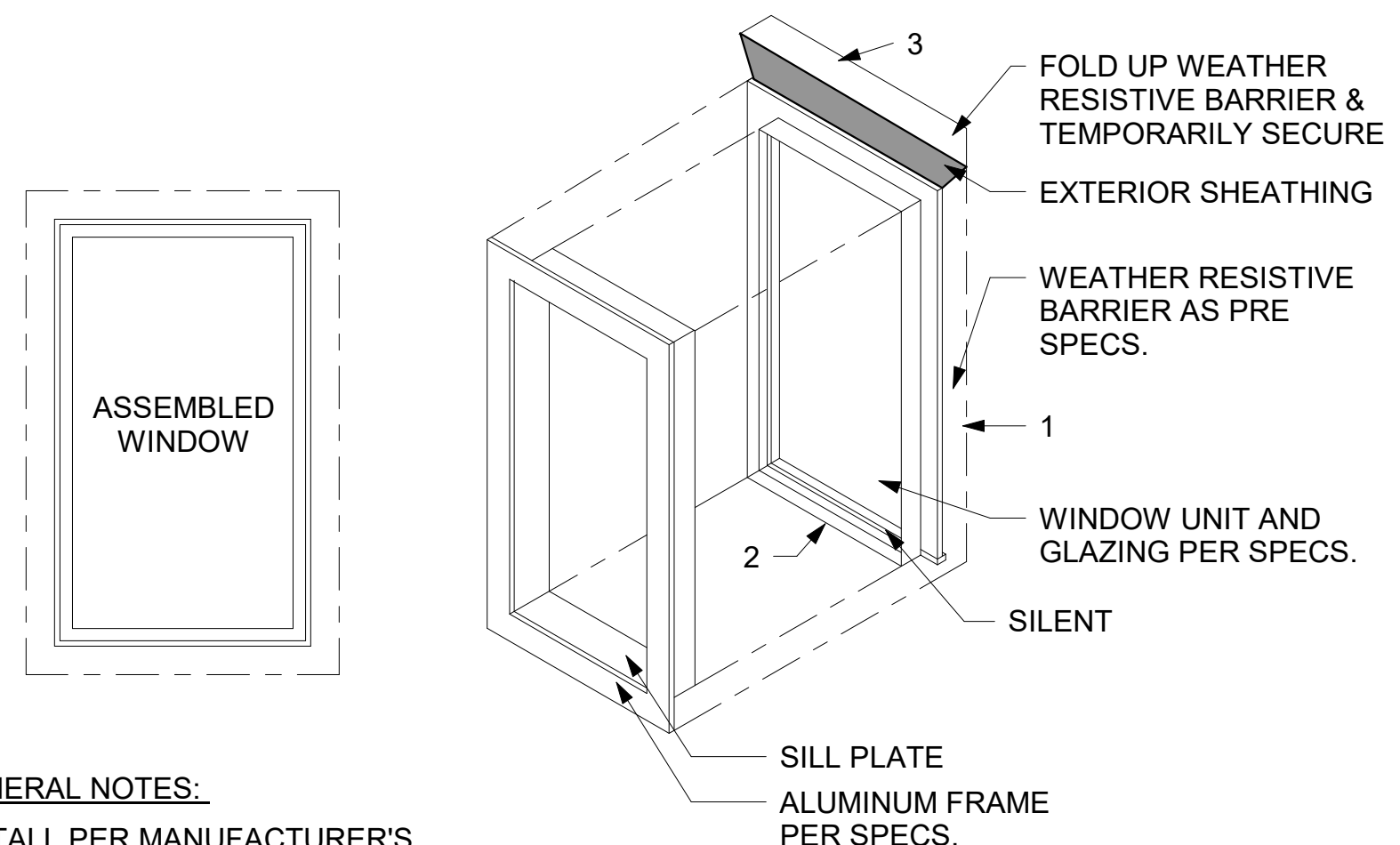
10226 N LIV PL,
Park City, Utah
Lot C-07

WINDOW & DOOR SCHEDULE & ELEVATIONS

Project Number 20203284
Date 10/26/2023
Drawn By EES
Checked By DPH

A 603

Scale: As indicated

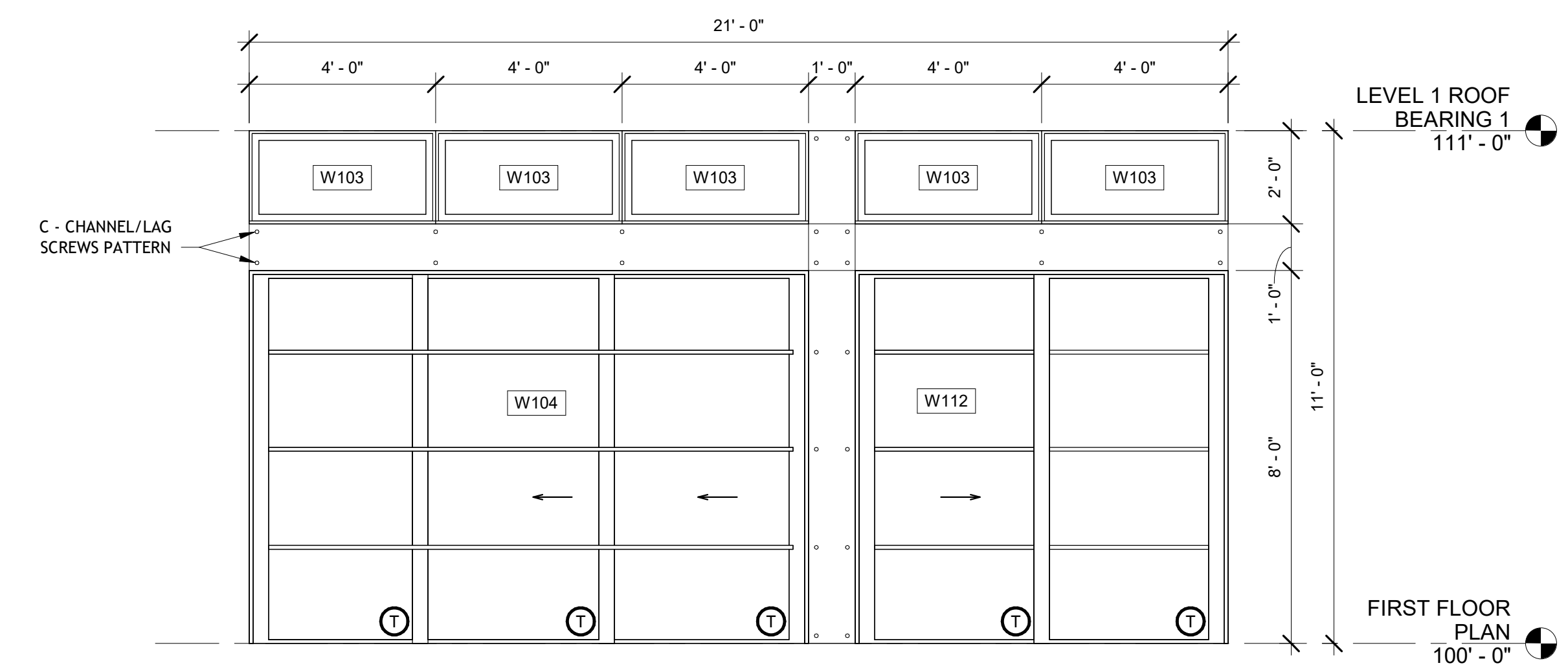


GENERAL NOTES:
INSTALL PER MANUFACTURER'S RECOMMENDATIONS MIN. MEET MOST STRINGENT REQUIREMENTS OF SPECS. AND WINDOW AND SELF ADHESIVE FLASHING MANUF.

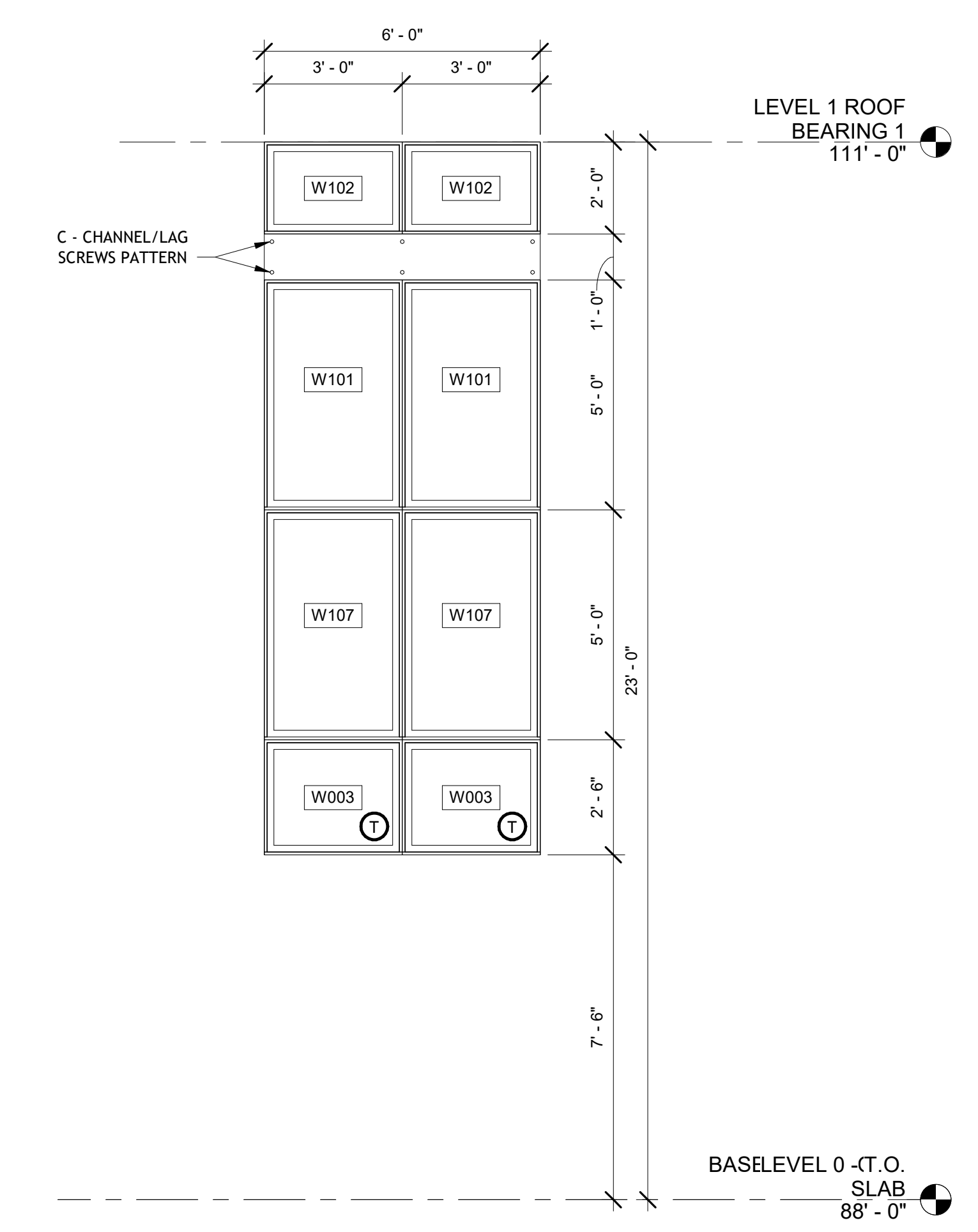
HEAD FLASHING TIE-IN INSTRUCTIONS:

- CUT, FOLD UP & TEMPORARILY SECURE WEATHER RESISTIVE BARRIER ABOVE HEADER TO ALLOW FOR FLASHING INSTALLATION.
- INSTALL SELF ADHESIVE HEAD FLASHING UNDER WEATHER RESISTIVE BARRIER
- FOLD WEATHER RESISTIVE BARRIER BACK OVER HEAD FLASHING AND SEAL WITH TAPE.

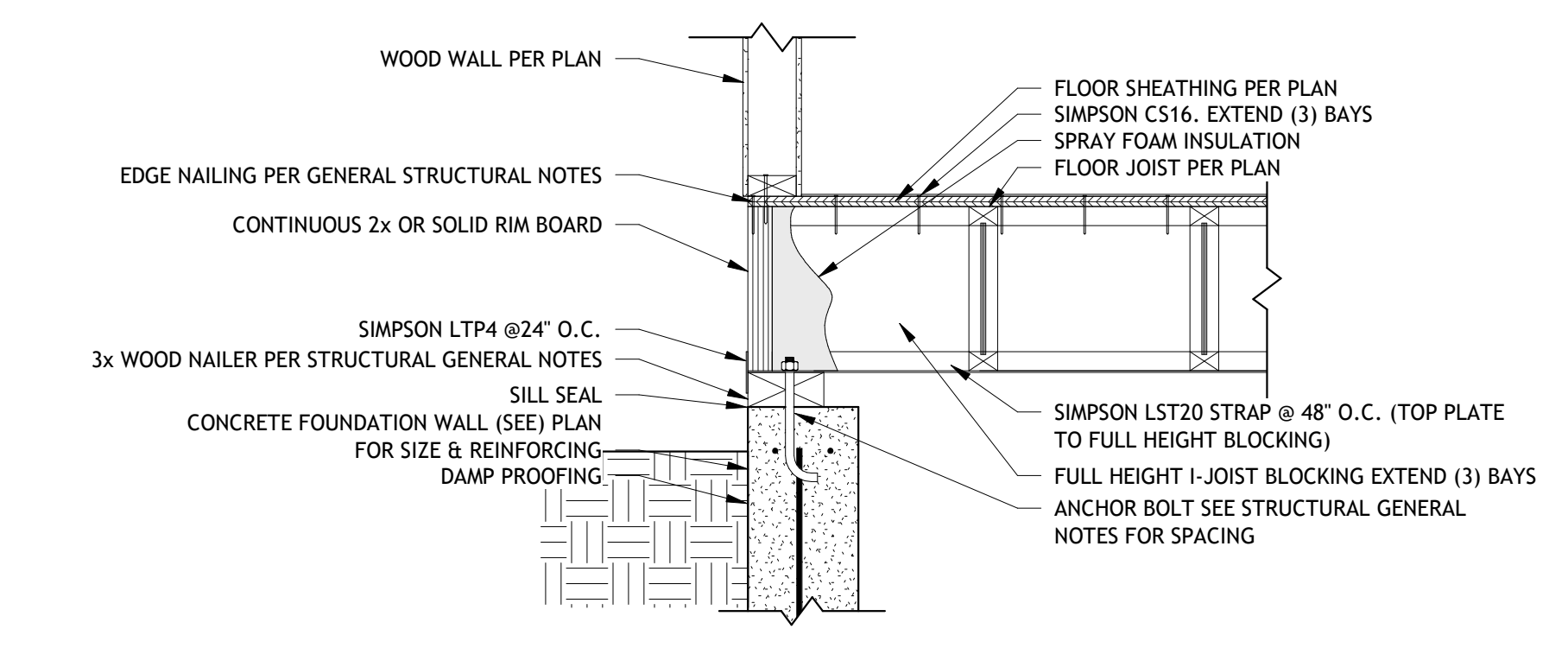
3 WINDOW FLASHING DETAIL
1/2" = 1'-0"



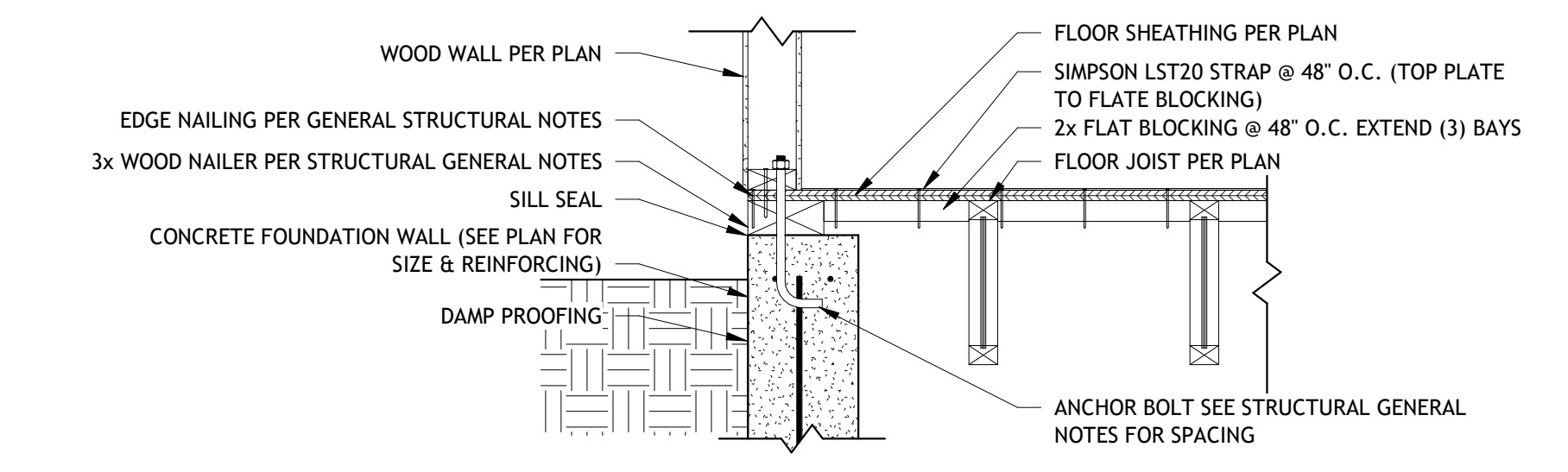
2 WINDOW GROUP 2
3/8" = 1'-0"



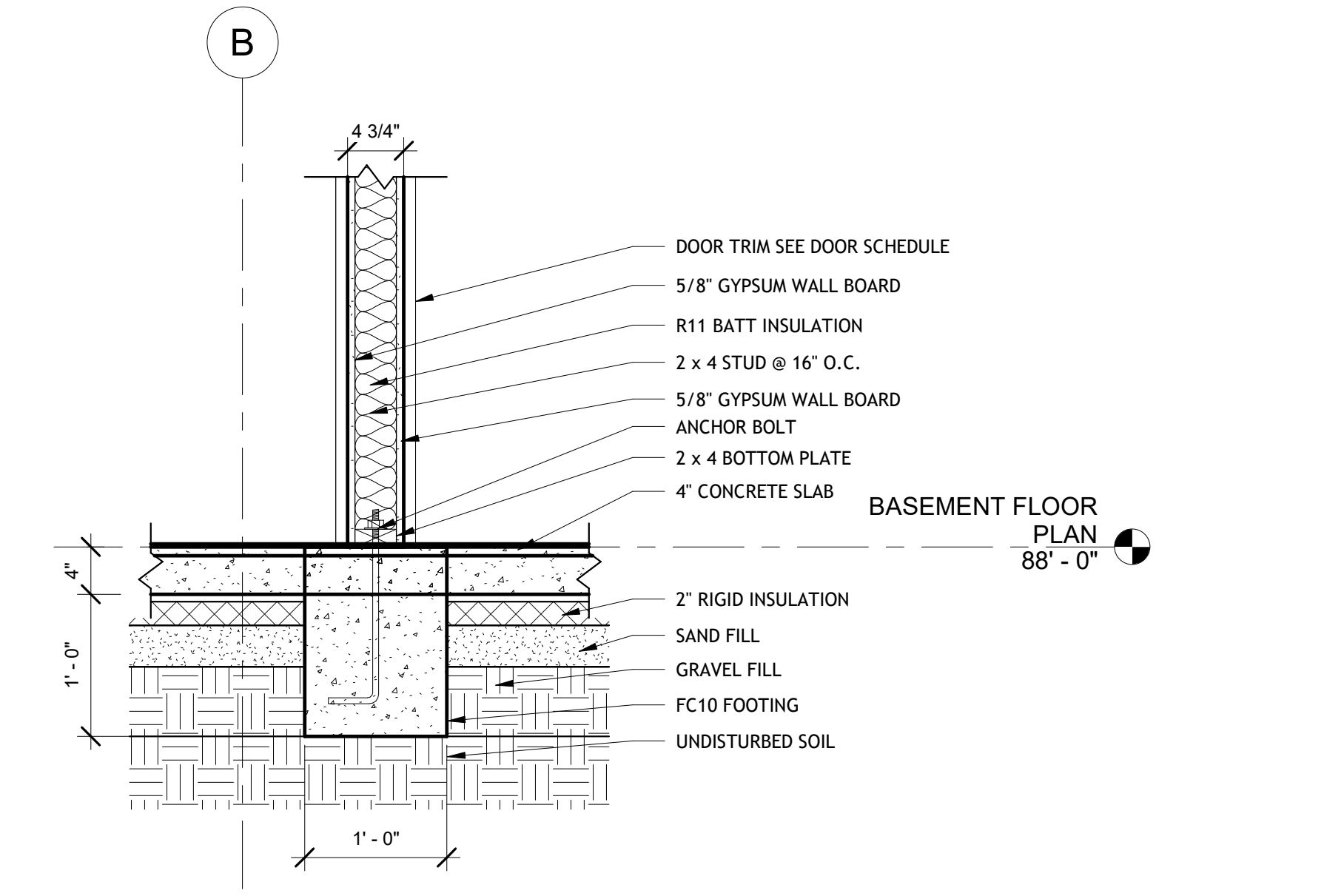
1 WINDOW GROUP 1
3/8" = 1'-0"



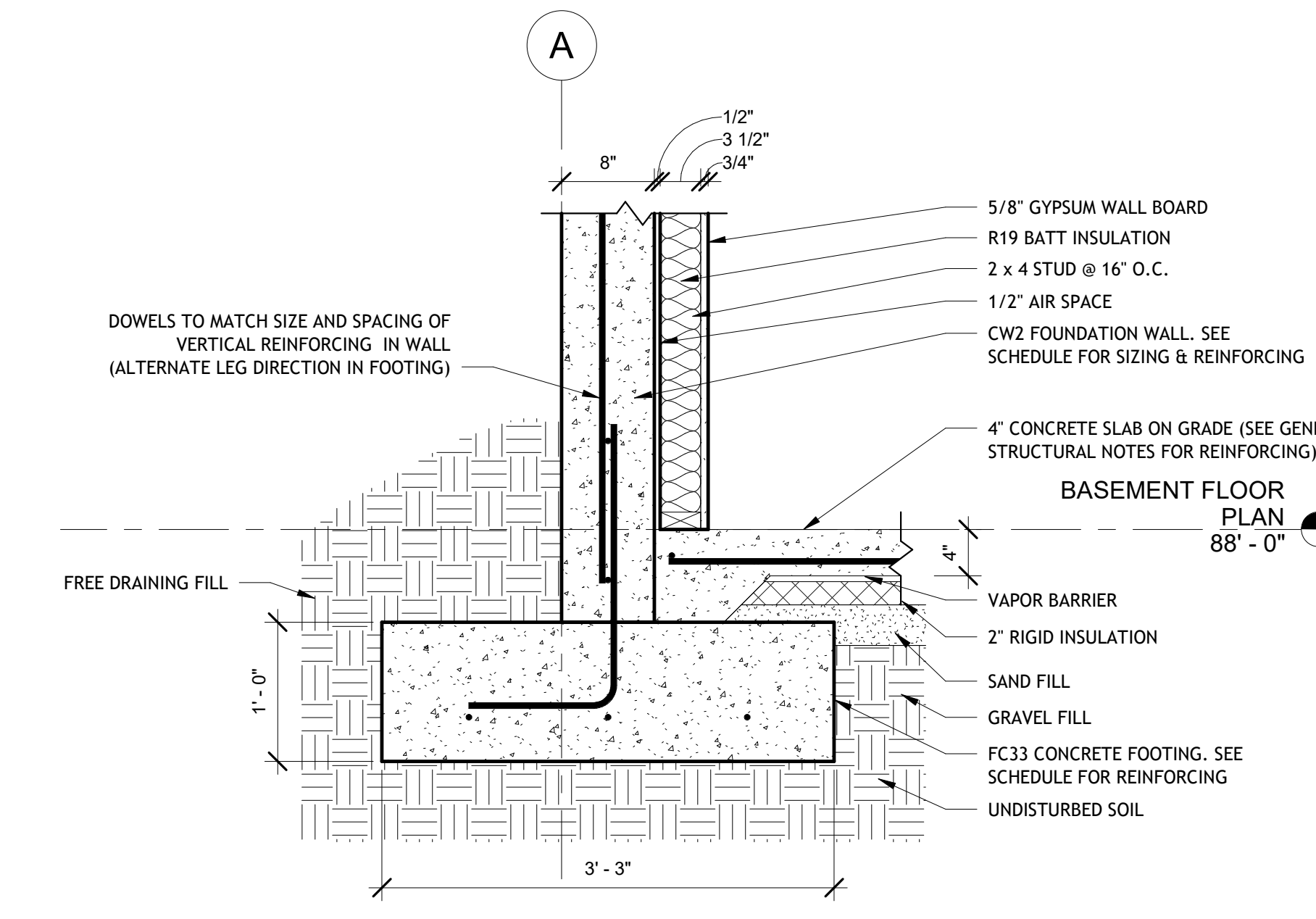
FLOOR I-JOIST @ CONCRETE WALL
OPTION 1
1" = 1'-0"



FLOOR I-JOIST @ CONCRETE WALL
OPTION 2
1" = 1'-0"



CONCRETE WALL & FOOTING
1" = 1'-0"



CW2 WALL WITH FC33
1" = 1'-0"

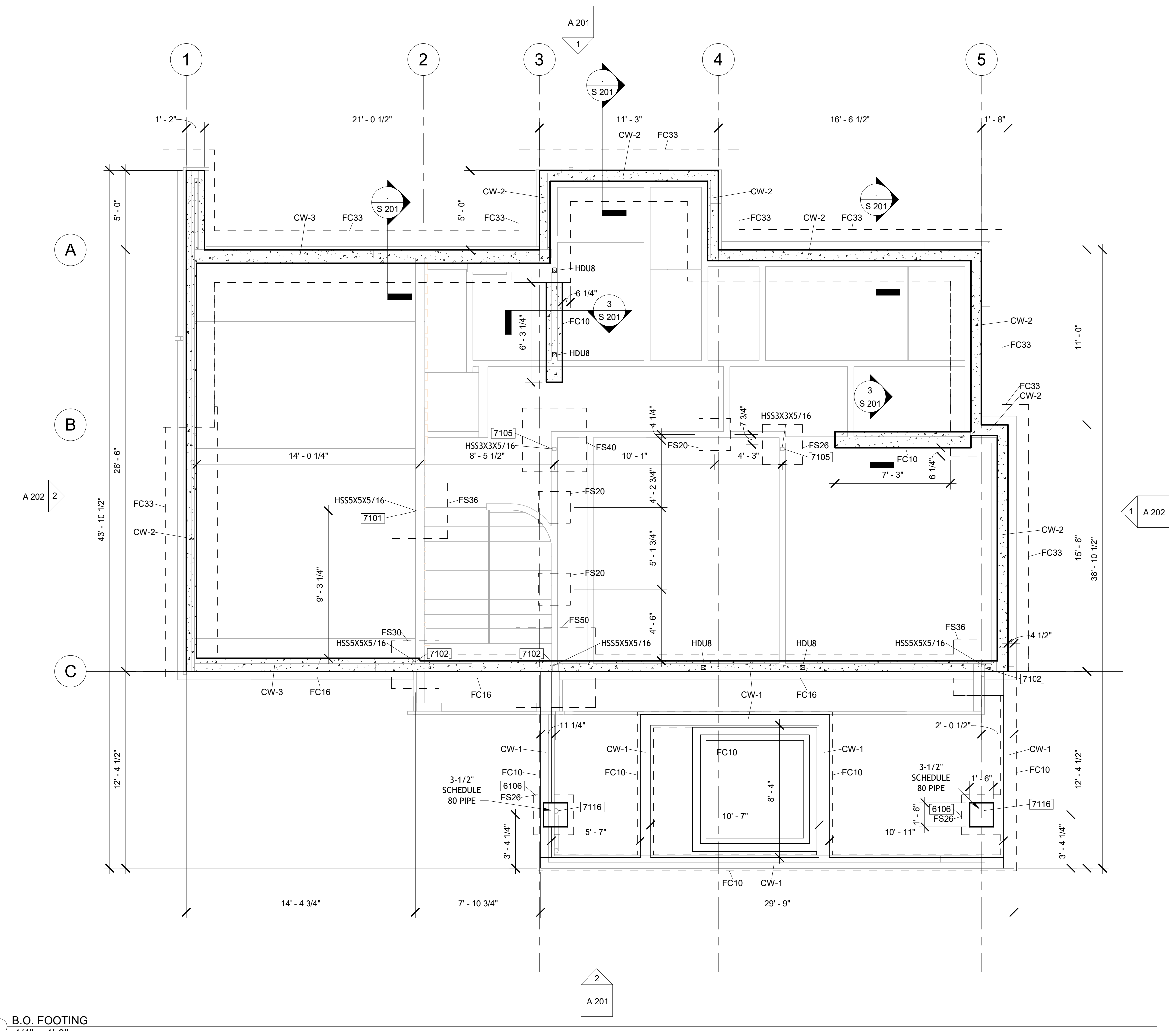
FOUNDATION KEYNOTES	
Key Value	Keynote Text
6106	CONCRETE PIER - PROVIDE 18"x18" WITH (1) #5 VERTICAL BAR AT EACH CORNER & (1) #5 VERTICAL BAR AT EACH FACE OF THE PIER (8 VERTICAL TOTAL). PROVIDE #3 TIES @ 6" O.C. FULL HEIGHT OF PIER. PROVIDE (3) #3 TIES WITHIN THE TOP 5" OF THE CONCRETE PIER/COLUMN.
7101	PROVIDE 11"x11"x3/4" BASE PLATE WITH (4) 3/4" DIAMETER ANCHOR BOLTS INTO CONCRETE FOOTING/PIER. PROVIDE 7" EMBEDMENT INTO CONCRETE FOOTING/PIER/STEM WALL.
7102	PROVIDE 5'-1/2"x11"x3/4" BASE PLATE WITH (2) 3/4" DIAMETER ANCHOR BOLTS INTO CONCRETE STEM/BASEMENT WALL. BASEPLATE AND COLUMN MAY BE EXTENDED DOWN TO THE TOP OF THE FOOTING IN ORDER TO AVOID CONFLICTS WITH DOOR OPENINGS. PROVIDE 7" EMBEDMENT INTO CONCRETE FOOTING/PIER/STEM WALL.
7105	PROVIDE 9"x9"x3/4" BASE PLATE WITH (4) 3/4" DIAMETER ANCHOR BOLTS INTO CONCRETE FOOTING/PIER. PROVIDE 7" EMBEDMENT INTO CONCRETE FOOTING/PIER/STEM WALL.
7116	PROVIDE 10"x16"x3/4" BASE PLATE WITH (4) 3/4" DIAMETER ANCHOR BOLTS INTO CONCRETE FOOTING/PIER. PROVIDE 7" EMBEDMENT INTO CONCRETE FOOTING/PIER/STEM WALL.
CG-03	STRUCTURAL BEAM- SEE STRUCTURAL DRAWINGS/BEAM TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN.
CG-10	STEEL PLATE AWNING.
CG-11	HEAVY TIMBER - SEE STRUCTURAL
CG-12	CEILING SOFFIT 4"WX6"H TO COVER STEEL BEAM
S-08	GUARDRAIL-36" MIN. - SEE DETAIL
S-09	STEEL BEAM, SEE STRUCTURAL-TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAINT COLOR PER OWNER, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
S-12	HEAVY TIMBER, SEE STRUCTURAL
S-14	FIREPLACE, AS SELECTED BY OWNER, WALL FINISHES PER INTERIOR DESIGN- PROVIDE GAS HOOKUP PER MANUFACTURER'S INSTRUCTIONS
S-21	SEE ENLARGED STAIRS AND DETAILS ON SHEET A401 AND A402
S-24	ALL KITCHEN INTERIORS INCLUDING LIGHTING FIXTURES AND CASEWORK PER INTERIOR DESIGN
S-26	PROVIDE A U-FER GROUND. AN ELECTRODE ENCASED BY AT LEAST 2" OF CONCRETE-SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG.(I.R.C.E3508.1.2 AND N.E.C.250.50)
S-28	CASEWORK PER INTERIOR DESIGNER
S-29	BATH TUB AS PER INTERIOR DESIGNER
S-30	VANITY AND PLUMBING FIXTURES PER INTERIOR DESIGNER
S-36	ELECTRICAL - MAIN ELECTRICAL PANEL WITH METER - INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER- SEE ELECTRICAL PLANS
S-38	PROVIDE 100% SOLIDS EPOXY, HIGH PERFORMANCE COATING
S-40	CAVITY INSULATION PER SCHEDULE
S-41	STACKABLE WASHER/ DRYER. COORDINATE W/ INTERIOR DESIGNER & CONSTRUCTION TRADES AS REQUIRED
S-42	WALL MOUNTED SKI RACK
S-46	CONTRACTOR TO COORDINATE LOCATION OF PLUMBING FIXTURES WITH PLANS AND IN THE FIELD PRIOR TO POURING CONCRETE SLAB-SETTING BED TO PROVIDE SLOPE
S-53	CONTRACTOR TO COORDINATE LOCATION OF PLUMBING FIXTURES WITH PLANS AND IN THE FIELD TO PROVIDE SLOPE AND/OR FIRESTOP BLOCKING/CAULKING AS REQUIRED

CONCRETE WALL SCHEDULE					
MARK	WIDTH	VERTICAL REINFORCING	HORIZONTAL REINFORCING	TOP & BOTTOM BARS	NOTES
CW-1	8"	<varies>	#4 @ 12" O.C.	(2) #4 BARS	<varies>
CW-2	8"	<varies>	#4 @ 12" O.C.	(2) #4 BARS	<varies>
CW-3	10"	<varies>	#4 @ 12" O.C.	(2) #4 BARS	<varies>

CONTINUOUS FOOTING SCHEDULE						
MARK	WIDTH	THICKNESS	LONGITUDINAL REINFORCING			
			NO.	SIZE	LENGTH	SPACING
FC10	1' - 0"	1' - 0"	2	#4	CONTINUOUS	EQUAL
FC16	1' - 6"	1' - 0"	3	#4	CONTINUOUS	EQUAL
FC33	3' - 3"	1' - 0"	5	#4	CONTINUOUS	EQUAL

ISOLATED FOOTING SCHEDULE							
MARK	WIDTH	LENGTH	THICKNESS	CROSSWISE REINFORCING		LONGITUDINAL REINFORCING	
				NO.	SIZE	NO.	SIZE
FS20	2' - 0"	2' - 0"	<varies>	3	#4	1'-6"	EQUAL
FS26	2' - 6"	2' - 6"	1' - 0"	4	#4	2'-0"	EQUAL
FS30	3' - 0"	3' - 0"	1' - 0"	5	#4	2'-6"	EQUAL
FS36	3' - 6"	3' - 6"	1' - 0"	5	#4	3'-0"	EQUAL
FS40	4' - 0"	4' - 0"	1' - 0"	6	#4	3'-6"	EQUAL
FS50	5' - 0"	5' - 0"	1' - 0"	7	#4	4'-6"	EQUAL

- FOOTING AND FOUNDATION PLAN NOTES:**
- VERIFY ALL DIMENSIONS WITH ARCHITECT PRIOR TO START OF CONSTRUCTION.
 - VERIFY LOCATIONS OF ALL INSERTS IN SLAB WITH THE ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL PLANS PRIOR TO THE PLACEMENT OF CONCRETE SLAB.
 - CONCRETE SLAB ON GRADE SHALL BE 4" THICK OVER 3" SAND OVER 10 MIL. VISQUEEN (VAPOR BARRIER) OVER 4" TYPE II AGGREGATE BASE MATERIAL. AS AN OPTION, 10 MIL VISQUEEN MAY BE PLACED BELOW THE TYPE II AND THE SAND ELIMINATED. THE BASE MATERIAL SHALL BE MOISTENED (BUT NOT SATURATED) PRIOR TO THE PLACEMENT OF THE CONCRETE. RECOMMENDED REINFORCEMENT OF THE CONCRETE SLAB SHOULD BE #3 BARS AT 18" O.C. EACH WAY (FOR IMPROVED CRACK CONTROL RESULTS, EVERY OTHER BAR SHOULD BE CUT AT CONTROL JOINTS). AS AN ALTERNATE, 6 X 6 - W2.1 X W2.1 WELDED WIRE FABRIC (IN SHEETS), CENTERED IN SLAB THICKNESS.
 - ANCHOR BOLTS AND HOLDDOWNS SHALL BE SECURED IN PLACE PRIOR TO THE PLACEMENT OF CONCRETE, AND SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND THE GENERAL NOTES.
 - ALL SITE WALLS, SIDEWALKS, OR OTHER ARCHITECTURAL FEATURES SHALL BE BY OTHERS (UNLESS NOTED OTHERWISE).
 - THE FINISHED SURFACE OF THE SLAB ON GRADE SHALL BE NOTED AS 100'-0" (ELEVATION) UNLESS NOTED OTHERWISE ON THE FOOTING AND FOUNDATION PLAN.
 - SIZE AND REINFORCEMENT OF ISOLATED AND CONTINUOUS FOOTINGS SHALL BE PER THE FOOTING SCHEDULE BELOW.
 - ALL EXTERIOR FOOTINGS SHALL BEAR BELOW FROST DEPTH (42") ACCORDING TO THE SOILS REPORT OR APPLICABLE BUILDING CODES.



B.O. FOOTING
1/4" = 1'-0"



NDSCS
ARCHITECTURAL MODELING & DESIGN TECHNOLOGY
WWW.NDSCS.EU
800 N 6th St
Wahpeton, North Dakota

VALVAERE - CABIN B

Emily Schmidt
David Hartung
Glen Erickson
Logan Prochnow
Chloe Lawrence
Mikaela Prochnow

VALVAERE - CABIN B

10226 N LIV PL,
Park City, Utah

Lot C-07

FOUNDATION PLAN & DETAILS

Project Number 20203284
Date 10/26/2023
Drawn By DPH
Checked By EES

S 201

Scale: As indicated



APEX
CONTRACTORS

“SOARING ABOVE YOUR EXPECTATIONS”

ESTIMATE

Total: \$1,190,045.00

OUR LABOR NUMBERS ARE BASED OFF THE 2021 EDITION
OF GUIDE TO CONSTRUCTION COSTS.

WE CONVERTED THIS TO THE 2023 COST USING A 117% ON
OUR NUMBERS



Materials & labor Estimate

Item	Description	Takeoff Qty		Unit Cost		Amount
		Quantity	UOM	Cost/Unit	UOM	Total
02-00 SITE WORK						
02-0203	Stake Building	1,325	SF	0.60	/SF	795
02-0213	SWPPP Plan BMP	247	LF	3.89	/LF	963
02-0214	Lot Clearing	4,484	SF	3.98	/SF	\$17,846.32
02-0220	Excavation	772	CY	5.14	/CY	\$3,961.91
02-0221	Rough Grade	4,484	SF	5.86	/SF	\$26,276.24
02-0222	Interior Concrete Grading	1,325	SF	0.80	/SF	\$1,060.00
02-0223	Exterior Concrete Grading	1,325	SF	0.80	/SF	\$1,060.00
02-0224	Finish Grade	4,484	SF	13.96	/SF	\$62,610.09
02-0225	Hauling	457	CY	13.29	/CY	\$6,072.62
02-0230	Backfill & Compact	315	CY	234.23	/CY	\$73,704.45
02-0232	Gas Lines	10	LF	14.63	/LF	\$146.30
02-0233	Elec/Phone/T.V. Line	10	LF	17.48	/LF	\$174.80
02-0234	Water Lines	10	LF	7.23	/LF	\$72.30
02-0235	Sewer Lines	10	LF	7.31	/LF	\$73.06
02-0237	Storm Water System	10	LF	7.31	/LF	\$73.10
02-0238	Footing Drain	112	LF	4.58	/LF	\$512.51
02-0239	Radon Systems	30	LF	7.30	/LF	\$219.00
02-0245	Road Construction	200	SF	0.80	/SF	\$160.00
02-0280	Landscaping	4,484	SF	0.53	/SF	\$2,383.25
02-0285	Sprinkler Systems	4,484	SF	0.40	/SF	\$1,784.63
SITE WORK			SSF		/SSF	\$199,948.24
03-00 CONCRETE						
03-0310	Footings	257	LF	26.00	/LF	\$6,682.00
03-0320	Foundations	3,053	SF	22.00	/SF	\$67,166.00
03-0321	Concrete Site Walls	0	SF	0.00	/SF	\$0.00
03-0330	Flatwork Interior	2,808	SF	22.00	/SF	\$61,776.00
03-0340	Decorative Exterior Concrete	520	SF	14.00	/SF	\$7,280.00
03-0350	Concrete Pumps	4	EA	2,400.00	/EA	\$9,600.00
03-0352	Gypcrete	4,145	SF	3.04	/SF	\$12,600.80
03-0353	Spandek/Suspended Slabs	1,495	SF	20.00	/SF	\$29,900.00
03-0355	Concrete Cutting	34	LF	1.99	/LF	\$67.66
03-0360	Concrete Disposal	2	MO	2,800.00	/MO	\$5,600.00
CONCRETE			CY		/CY	\$200,672.46

04-00 MASONRY

04-0415	Stone Masonry - Site Walls	0 SF	0.00 /SF	0
04-0430	Interior Stone Masonry	36 SF	18.14 /SF	653
04-0431	Exterior Stone Masonry	5,102 SF	18.14 /SF	92,525
04-0432	Masonry Accents	167 LF	20.11 /LF	3,359
MASONRY		GSF	/GSF	96,537

05-00 METALS

05-0510	Structural Steel	1,056 LBS	0.34 /LBS	\$358.94
* 05-0515	Steel Connections	2 LBS	5.92 /LBS	\$14.21
05-0525	Exterior Railing	100 LF	330.00 /LF	\$33,000.00
05-0526	Interior Railing	21 LF	330.00 /LF	\$6,930.00
05-0540	Decorative Metal	0 SF	0.00 /SF	\$0.00
METALS		GSF	/GSF	\$40,303.15

* ESTIMATED AS A 6"x1/2" BOLT

06-00 CARPENTRY

06-0600	Framing - Labor	3,252 GSF	0.97 /GSF	\$3,154.44
06-0601	Framing - Material	3,252 GSF	0.53 /GSF	\$1,707.04
06-0602	Framing - Trusses	4,859 SF	0.78 /SF	\$3,809.17
06-0604	Pickup Framing	103 GSF	0.83 /GSF	\$85.37
06-0610	Finish Carpentry - Labor	2,212 FSF	4.13 /FSF	\$9,146.13
06-0611	Finish Carpentry - Material	2,212 FSF	0.59 /FSF	\$1,294.02
06-0612	Detail Finish Carpentry - Labor	292 SF	1.92 /SF	\$560.29
06-0613	Detail Finish Carpentry - Material	292 SF	2.57 /SF	\$750.44
06-0620	Siding Labor	5,879 SF	3.09 /SF	\$18,165.93
06-0621	Siding Material	5,879 SF	1.64 /SF	\$9,636.14
06-0630	Deck Surface Labor	220 SF	1.47 /SF	\$322.96
06-0631	Deck Surface Material	220 SF	5.20 /SF	\$1,143.12
06-0650	Cabinetry	92 LF	206.65 /LF	\$19,011.80
06-0651	Cabinetry Hardware	46 LF	317.00 /LF	\$14,582.00
06-0681	Timber Framing - Labor	3,715 LF	6.62 /LF	\$24,600.73
06-0685	Timber Framing - Material	3,715 BF	6.44 /BF	\$23,913.46
CARPENTRY		GSF	/GSF	\$131,883.03

* NUMBERS MAY BE HIGHER DUE TO ADDED STUDS FOR THE DOORS, WINDOWS, WINDOWS, CORNERS AND INTERSECTING PARTITIONS

07-00 THERMAL & MOISTURE

07-0700	Dampproofing	6,473 SF	0.85 /SF	5,483
07-0710	Exterior Vapor Barrier	14,269 SF	0.05 /SF	769
07-0711	Rain Screen	14,269 SF	0.32 /SF	4,505
07-0720	Insulation	3,962 GSF	0.72 /GSF	2,837
07-0721	Air Sealing	3,962 GSF	0.10 /GSF	396
07-0725	Exterior Continious Insulation	12,326 SF	0.84 /SF	10,342
07-0730	Roofing	8,865 SF	2.31 /SF	20,478
* 07-0731	Roof Vents / Cupola / Finial	56 SF	1.59 /SF	89
07-0735	Metal Siding	5,830 SF	5.32 /SF	31,026
07-0740	Metal Flashing/Reglets	988 LF	6.79 /LF	6,708
07-0760	Gutters & Downspouts	150 LF	2.42 /LF	363
07-0761	Snow Retention	200 LF	32.00 /LF	6,400
07-0770	Fascia - Labor	185 LF	2.94 /LF	543
07-0771	Fascia - Material	185 LF	0.83 /LF	154
07-0772	Soffit - Labor	185 SF	4.81 /SF	889
07-0773	Soffit - Material	185 SF	0.68 /SF	\$124.99
THERMAL & MOISTURE		GSF	/GSF	\$91,106.59

* 24 GAUGE 1 PIECE COUNTERFLASHING

08-00 DOORS & WINDOWS

08-0805	Interior Doors	19 EA	1,200.00 /EA	\$22,800.00
08-0806	Door and Hardware - Install	4 EA	73.87 /EA	\$295.48
08-0810	Exterior Doors	9 EA	4,675.25 /EA	\$42,077.25
08-0815	Entry Door Systems	2 EA	500.00 /EA	\$1,000.00
* 08-0820	Door Hardware	26 EA	676 /EA	\$17,576.00
* 08-0825	Specialty Hardware	1 EA	1,000.00 /EA	\$1,000.00
* 08-0830	Garage Doors	<u>Not Included In Estimate</u>		
08-0840	Windows	1,348 SF	30.63 /SF	\$41,289.24
* 08-0843	Specialty Windows/Doors	380 SF	47.36 /SF	\$17,989.70
* 08-0845	Window Install	15 EA	50.00 /EA	\$750.00
08-0846	Window Flashings	691 LF	4.68 /LF	\$3,230.43
08-0860	Mirrors	80 SF	7.00 /SF	\$560.00
08-0870	Shower Doors	42 SF	24.60 /SF	\$1,033.07
DOORS & WINDOWS		GSF	/GSF	\$149,601.17

* Allowance for specialty hardware. In case client desires the thumb turn lock or key pad

* Assuming that Tempered Glass and Glass sliding doors are specialty

09-00 INTERIOR FINISHES

09-0920	Drywall	20,865 GSF	0.34 /GSF	\$7,156.70
09-0925	Specialty Drywall/Plaster	3,583 SF	0.17 /SF	\$613.05
09-0930	Tile Labor	5,059 SF	4.00 /SF	\$20,230.94
09-0931	Tile Material	5,059 SF	2.00 /SF	\$10,115.47
09-0938	Slab Tops	69 SF	85.00 /SF	\$5,865.00
09-0940	Hardwood Flooring	868 SF	6.68 /SF	\$5,802.23
09-0950	Carpet	460 SF	27.48 /SF	\$12,639.42
09-0957	Garage Coatings	356 SF	0.06 /SF	\$21.36
09-0960	Wall Coverings	0	0.00	\$0.00
* 09-0970	Interior Paint/Stain	25,141 GSF	0.80 /GSF	\$20,002.18
* 09-0975	Exterior Paint/Stain	6,602 GSF	0.80 /GSF	\$5,281.60
INTERIOR FINISHES		GSF	/GSF	\$87,727.95

* Number Includes taping and two layers of paint

10-00 SPECIALTIES

10-1010	Sealed Combustion Fireplaces	2 EA	14,240.00 /EA	\$28,480.00
10-1013	Mantels/Surround	1 EA	2,200.00 /EA	\$2,200.00
10-1014	Hearths	2 EA	520.00 /EA	\$1,040.00
10-1015	Chimney Caps	2 EA	1,325.00 /EA	\$2,650.00
10-1030	Toilet/Bath Hardware	3 BA	18,000.00 /BA	\$54,000.00
10-1040	Master Closet Systems	8 LF	4.88 /LF	\$39.04
10-1045	Other Closet Systems	16 EA	4.88 /EA	\$78.08
10-1046	Garage Cabs/Storage	4 LF	387.39 /LF	\$1,549.55
SPECIALTIES		GSF	/GSF	90,037

11-00 EQUIPMENT

11-1120	Appliances	9 EA	3,439.00 /EA	\$30,951.00
11-1122	Custom Hoods	1 EA	1,099.00 /EA	\$1,099.00
11-1125	Outdoor Appliances	3 LF	2,726.34 /LF	\$8,179.02
EQUIPMENT		GSF	/GSF	\$40,229.02

12-00 FURNISHINGS

12-1210	Furniture			
FURNISHINGS		Not Included In Estimate		

13-00 SPECIAL CONSTRUCTION

13-1345	Spas	1 EA		
SPECIAL CONSTRUCTION		GSF		

15-00 MECHANICAL WORK

15-1510	Plumbing Systems Allowance	1 EA	35,000.00 /EA	\$35,000.00
15-1530	HVAC Systems Allowance	1 EA	27,000.00 /GSF	\$27,000.00
MECHANICAL WORK		GSF	/GSF	\$62,000.00

16-00 ELECTRICAL

16-1610	Electrical System Allowance	1 GSF	42,000.00 /GSF	\$42,000.00
16-1611	ELECTRICAL	GSF	/GSF	\$42,000.00

Total

Total includes materials and limited Labor prices in sections 06-00 through 09-00. Permits and Preconstructions prices not included

Amount

\$1,190,044.83

Finish Materials Price Sheets

Powder Room						
	Type	Item #	Price	Found at	Location	Link
KOHLER, WHITE	TOLIET	K-5401-PA-0	\$ 4,518.75	Kohler	.	Smart Toilet with Bidet K-5401-PA KOHLER
STONE FOREST BLACK GRANITE CUSTOM INFINITY PEDESTAL SINK	SINK	C60D CG	\$ 6,350.00	Focal Point	.	Sink - Powder Room
KALLISTA	TOLIET PAPER HOLDER	P34408-00	\$ 340.00	Kallista	.	Toilet Paper Holder
KALLISTA	HOOK	P34407-00-BN	\$ 220.00	Kallista	.	Hook
KALLISTA	TOWEL BAR	P34401-00	\$ 500.00	.	.	Towel Bar

Owner Suite Bath						
	Type	Item #	Price	Found at	Location	Link
KALLISTA	BATH FAUCET	P24405-LV	\$ 1,885.00	Shop GPS	.	Faucet
KALLISTA	BODY SPRAY	P22078-00	\$ 645.00	Kallista	.	Body Spray
KOHLER ANTHEM	SHOWER CONTROL UNIT	K-28214-CP	\$ 639.45	Build Ferguson	.	Shower Control Unit
KOHLER WHITE	WATERFALL SHOWER HEAD	K-76728GL-0	\$ 2,724.60	Kohler	Discontinued -similar item found	Real Rain - K-31110-0
KALLISTA	SHOWER ARM + HEAD	P24482-00	\$ 520.00	Kallista	.	Showerhead w/arm
KALLISTA	HAND SHOWER SET	P24843-00	\$ 535.00	Kallista	.	Shower Wand
KOHLER WHITE	TOLIET	K-30754-PA-0	\$ 8,625.00	Kohler	.	Smart Toilet
KOHLER WHITE	SINK	K-2330-0	\$ 464.77	Kohler	.	Sink
STUDIO LOHO EXTRA WHITE CLAY BATHTUB	BATHTUB		\$ 10,713.07	.	.	PDF -
KALLISTA	TUB SPOUT	P24414-00	\$ 595.00	Kallista	.	Tub Spout
	SINGLE CONTROL TRIM LEVER HANDLE	P24415-LV	\$ 1,045.00	Kallista	.	Handle/Control
KALLISTA	TOLIET PAPER HOLDER	P34408-00	\$ 340.00	Kallista	.	Toilet Paper Holder
KALLISTA	HOOK	P34407-00-BN	\$ 220.00	Kallista	.	Hook
KALLISTA	TOWEL BAR	P34401-00	\$ 500.00	Kallista	.	Towel Bar

Home Finishes & Plans						
	Type	Item #	Price	Found at	Location	Link
ROCKY MOUNTAIN HARDWARE	DOOR LEVER	E201 ROSE & L10302	\$ 1,037.00	Rocky Mountain Hardware	-	Door Lever
ROCKY MOUNTAIN HARDWARE	THUMB TURN	IP10150	\$ 286.00	Rocky Mountain Hardware	-	Thumb turn
ROCKY MOUNTAIN HARDWARE	BUTT HINGE	HNG4B	\$ 130.00	Rocky Mountain Hardware	-	Butt Hinge
ROCKY MOUNTAIN HARDWARE	POCKET DOOR PULL	FP258	\$ 129.00	Rocky Mountain Hardware	-	Pocket Door Pull
ROCKY MOUNTAIN HARDWARE	APPLIANCE PULL	G10311 (CUSTOM SIZE)	\$ 317.00	Rocky Mountain Hardware	-	Appliance Pull
RAJACK	CABINET EDGE PULL	RJ758	\$ 50.00	RAJACK	DIRECT CALL	

Laundry						
	Type	Item #	Price	Found at	Location	Link
MAYTAG, WHITE	WASHER	MED8630HW	\$ 1,398.68	BUILD WITH FERGUS	.	Washer
MAYTAG, WHITE	DRYER	MHW8630HW	\$ 1,398.68	BUILD WITH FERGUS	.	MAYTAG DRYER

Secondary Baths						
	Type	Item #	Price	Found at	Location	Link
KALLISTA	BATH FAUCET	P22405-LV	\$ 1,885.00	Shop GPS	.	Faucet
KALLISTA	HAND SHOWER SET	P24843-00	\$ 575.00	KALLISTA	.	Shower
KALLISTA	SHOWER ARM	P24482-00	\$ 565.00	Kallista	.	Shower Head
KALLISTA	HEAD CONTROL	P24421-LV-CP	\$ 1,295.00	Kallista	.	Head Control
Kohler, white	TOLIET	K-5401-PA-0	\$ 4,518.75	Kohler	.	Toilet
Kohler, white	SINK	K-2330-0	\$ 464.77	Kohler	.	Sink
KALLISTA	TOLIET PAPER HOLDER	P34408-00	\$ 340.00	Kallista	.	Toilet Paper Holder
KALLISTA	HOOK	P34407-00-BN	\$ 220.00	Kallista	.	Hook
KALLISTA	TOWEL BAR	P34401-00	\$ 500.00	Kallista	.	Towel Bar

Kitchen						
	Type	Item #	Price	Found at	Location	Link
KALLISTA	KITCHEN FAUCET	P25200-00-CP	\$ 1,526.25	Build Ferguson	BN	Kitchen Faucet
KOHLER STAINLESS STEEL	SINK	K-5540-NA	\$ 1,599.00	Build Ferguson	.	Sink
INSINKERATOR GRAY	DISPOSABLE	TEN-1706	\$ 308.00	Lowe's	.	Disposable
GAGGENAU STAINLESS STEEL	COOKTOP INDUCTION	C1282602	\$ 4,499.00	Designer Appliances	.	
ZEPHYR STAINLESS STEEL	HOOD	AK9228BS	\$ 1,099.00	Build Ferguson	.	Kitchen Hood
GAGGENAU STAINLESS STEEL	OVEN	480	\$ 7,699.00	Appliance Connection	.	Kitchen Oven
GAGGENAU STAINLESS STEEL	MICROWAVE	MW420620	\$ 1,999.00	Yudins Appliances	.	Microwave
GAGGENAU CUSTOM DOOR PANEL	DISHWASHER	DF211700	\$ 1,899.00	Designer Appliances	.	Dishwasher
GAGGENAU CUSTOM DOOR PANEL	FRIDGE	RY492705	\$ 12,499.00	Designer Appliances	.	Fridge - called for price
GAGGENAU CUSTOM PANEL	WINE/UNDERCOUNTER FRIDGE	T24UW905RP	\$ 3,599.00	AJ Madison	.	Panel Ready Fridge
GAGGENAU STAINLESS STEEL	COOKTOP GAS	CG280210CA	\$ 2,099.00	Appliance Connection	.	Gas Cooktop
ZEPHYR STAINLESS STEEL	HOOD	AK9228BS	\$ 1,149.00	Home Depot	.	Cooktop Hood



APEX
CONTRACTORS

“SOARING ABOVE YOUR EXPECTATIONS”

SCHEDULE

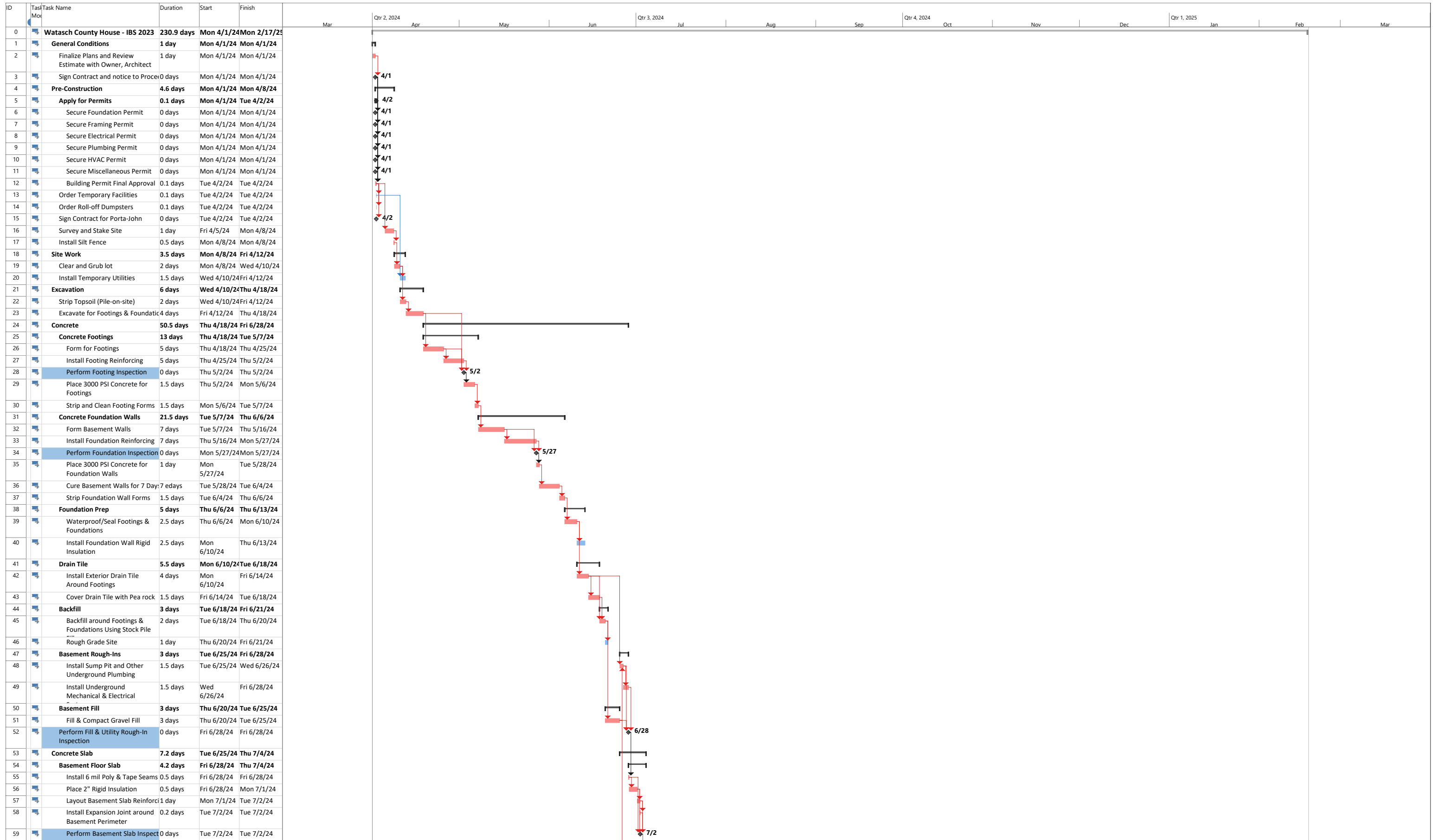
OVER ALL - 230.9 DAYS (4/1/2024 - 2/17 25)

PRE - CONSTRUCTION - 4.5 DAYS

SITWORK / CONCRETE - 60 DAYS

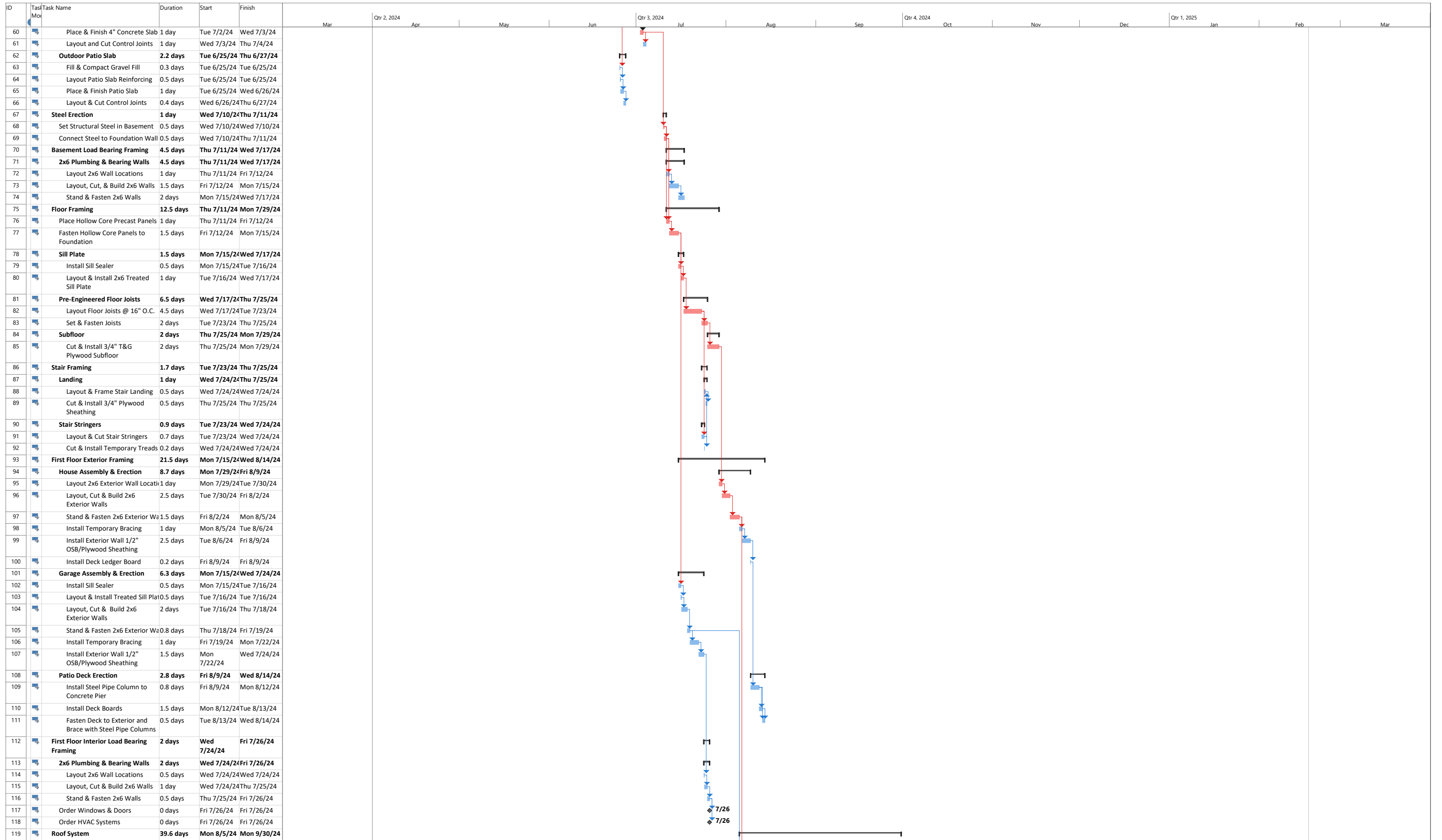
FRAMING - 98.95 DAYS

FINISHES - 67.5 DAYS



Project: Watasch County House Date: Tue 12/19/23

■ Milestone ◆ Project Summary ▬ Inactive Milestone ◇ Manual Task ▬ Manual Summary Rollup ▬ Start-only ▬ External Tasks ▬ Deadline ⬇ Critical Split ▬ Manual Progress ▬ Split ⋯ Summary ▬ Inactive Task ▬ Inactive Summary ▬ Duration-only ▬ Manual Summary ▬ Finish-only ▬ External Milestone ◆ Critical ▬ Progress



Project: Watasch County House Date: Tue 12/19/23

Task Split

Milestone

Project Summary

Inactive Milestone

Manual Task

Manual Summary Rollup

Manual Summary

Start-only

Finish-only

External Tasks

External Milestone

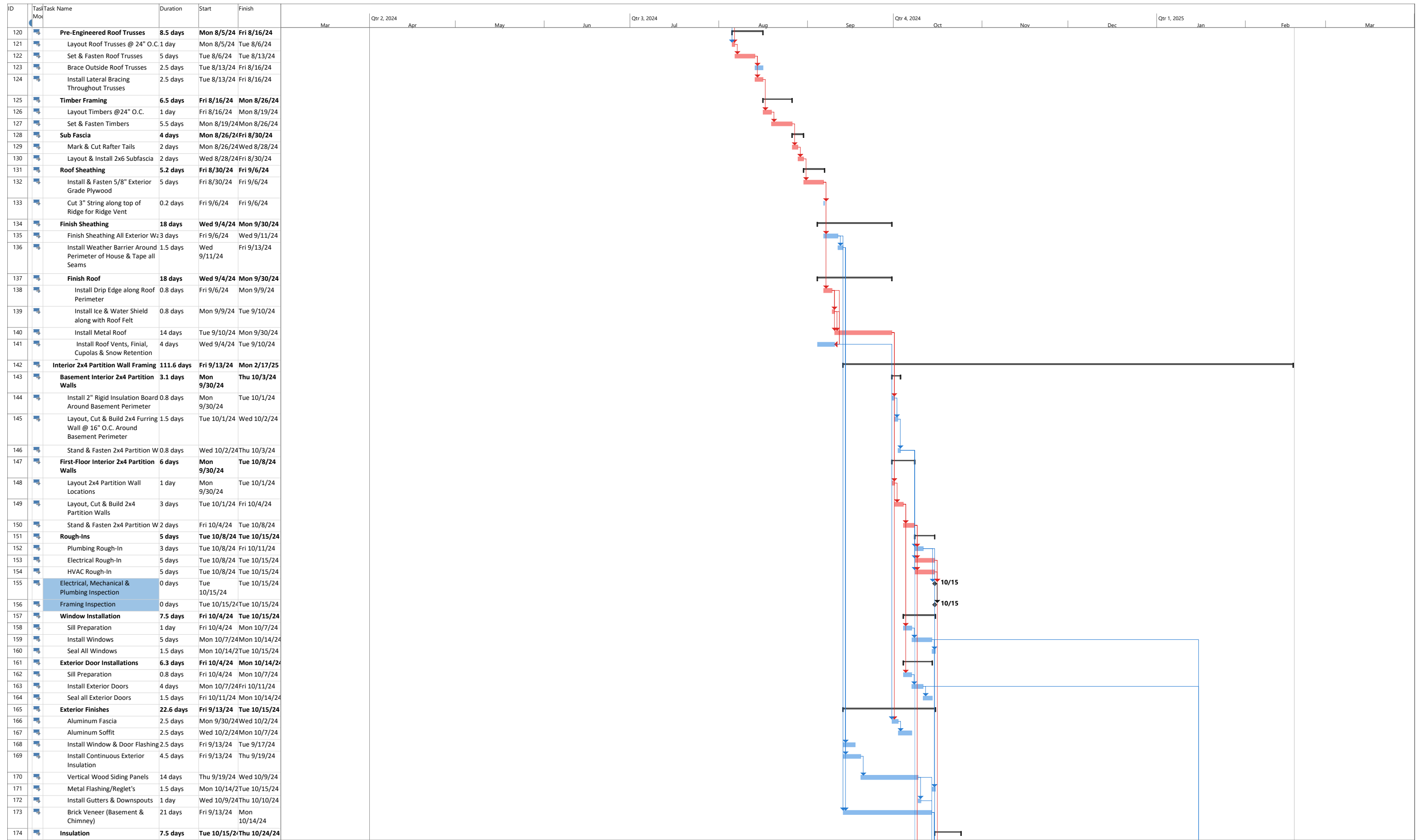
Deadline

Critical

Critical Split

Manual Progress

Progress



Project: Watasch County House
Date: Tue 12/19/23

Task Split

Milestone

Project Summary

Inactive Milestone

Manual Task

Manual Summary Rollup

Manual Summary

Start-only

Finish-only

External Tasks

External Milestone

Deadline

Critical

Critical Split

Progress

Manual Progress

Page 3

ID	Task Name	Duration	Start	Finish	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar
175	First Floor, Basement & Floor Joist Installation	4.5 days	Tue 10/15/24	Mon 10/21/24													
176	Vapor Barrier (Wall & Ceiling)	3 days	Mon 10/21/24	Thu 10/24/24													
177	Vapor Barrier Inspection	0 days	Thu 10/24/24	Thu 10/24/24													
178	Tub/Shower Installation	0.5 days	Thu 10/24/24	Fri 10/25/24													
179	Install Tub in Basement Owner Suite Bathroom	0.5 days	Thu 10/24/24	Fri 10/25/24													
180	Attic Access	0.5 days	Thu 10/24/24	Fri 10/25/24													
181	Install 22x30 Attic Access	0.5 days	Thu 10/24/24	Fri 10/25/24													
182	Backing	3.5 days	Mon 10/21/24	Fri 10/25/24													
183	Install 2x6 Wood Backing in Kitchen, Bathroom, Staircase, & TV Locations	3.5 days	Mon 10/21/24	Fri 10/25/24													
184	Gypsum Board	17 days	Fri 10/25/24	Tue 11/19/24													
185	Install Garage Ceiling Drywall	1.5 days	Fri 10/25/24	Mon 10/28/24													
186	Install Basement Ceiling Drywall	3.5 days	Fri 10/25/24	Wed 10/30/24													
187	Install First Floor Wood Ceiling - Great Room, Dining Room, Kitchen & Entry Way	5 days	Fri 10/25/24	Fri 11/1/24													
188	Install Basement Wood Ceiling - Owner Suite	2 days	Fri 10/25/24	Tue 10/29/24													
189	Install Main Floor & Basement Wall Drywall	12 days	Fri 11/1/24	Tue 11/19/24													
190	Attic Insulation	2.5 days	Fri 11/1/24	Tue 11/5/24													
191	Garage Concrete Slab	7 days	Tue 10/8/24	Thu 10/17/24													
192	Clean & Prep Floor, Caulk Joints	1.5 days	Tue 10/8/24	Wed 10/9/24													
193	Pour Epoxy High Performance Coating	1.5 days	Wed 10/9/24	Fri 10/11/24													
194	Layout & Set Floor Drain	2 days	Fri 10/11/24	Tue 10/15/24													
195	Place & Finish 4" Slab Sloping Towards Drain	1 day	Tue 10/15/24	Wed 10/16/24													
196	Layout & Cut Control Joints	1 day	Wed 10/16/24	Thu 10/17/24													
197	Order Cabinets & Countertops	0 days	Thu 10/17/24	Thu 10/17/24													
198	Order Electrical Fixtures & Plumbing Trims	0 days	Thu 10/17/24	Thu 10/17/24													
199	First Floor Gypcrete	3.5 days	Tue 11/19/24	Fri 11/22/24													
200	Prime Floor (Clean & Caulk all Penetrations)	2 days	Tue 11/19/24	Thu 11/21/24													
201	Place & Finish 4" Gypcrete	1.5 days	Thu 11/21/24	Fri 11/22/24													
202	Order Fireplaces	0 days	Fri 11/22/24	Fri 11/22/24													
203	Mud & Tape	21 days	Tue 11/19/24	Wed 12/18/24													
204	Tape/Mask off Windows & Exterior Doors	1.5 days	Tue 11/19/24	Wed 11/20/24													
205	Mud & Tape all Seams & Corners in House	14 days	Wed 11/20/24	Tue 12/10/24													
206	Sand Walls & Ceilings Smooth for Paint	5.5 days	Tue 12/10/24	Wed 12/18/24													
207	Order Flooring (Hardwood, Carpet, Tile)	0 days	Wed 12/18/24	Wed 12/18/24													
208	Interior Paint	9.5 days	Wed 12/18/24	Tue 12/31/24													
209	Apply Primer to all Drywall	3 days	Wed 12/18/24	Mon 12/23/24													
210	Apply Paint to Walls & Ceiling	3.5 days	Mon 12/23/24	Thu 12/26/24													
211	Allow Paint to Dry & Apply 2nd Coat	2.5 days	Thu 12/26/24	Tue 12/31/24													
212	Remove Masking and Tape	0.5 days	Tue 12/31/24	Tue 12/31/24													
213	Exterior Concrete Door Stoops	3.5 days	Mon 10/14/24	Thu 10/17/24													
214	Place & Compact Min 4" Gravel	1.5 days	Mon 10/14/24	Tue 10/15/24													
215	Layout & Cut Slab Reinforcement	0.5 days	Tue 10/15/24	Wed 10/16/24													
216	Place & Finish Concrete Slab - Front Entry, Owner Suite Slab	1.5 days	Wed 10/16/24	Thu 10/17/24													
217	Landscaping/Finish Grade	12 days	Mon 10/14/24	Wed 10/30/24													
218	Finish Grade	2.5 days	Mon 10/14/24	Wed 10/16/24													
219	Prep Site for Sod	1.5 days	Wed 10/16/24	Fri 10/18/24													
220	Install Sprinkler System	3 days	Fri 10/18/24	Wed 10/23/24													
221	Lay and Install Sod Grass	5 days	Wed 10/23/24	Wed 10/30/24													
222	Install, Trees, Bushes, etc.	2 days	Fri 10/18/24	Tue 10/22/24													
223	Cabinetry	4.5 days	Tue 12/31/24	Mon 1/6/25													
224	Unbox, Arrange and Layout Cabinet Locations in Kitchen, and Bathroom Vanities	0.5 days	Tue 12/31/24	Tue 12/31/24													
225	Install, Shim & Level Cabinets in Kitchen and Bathrooms on all Floors	4 days	Tue 12/31/24	Mon 1/6/25													

Project: Watasch County House Date: Tue 12/19/23

Task Split

Milestone

Project Summary

Inactive Milestone

Manual Task

Manual Summary Rollup

Manual Summary

Start-only

Finish-only

External Tasks

External Milestone

Deadline

Critical

Critical Split

Progress

Manual Progress

ID	Task Name	Duration	Start	Finish	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar
226	Countertops	3.5 days	Mon 1/6/25	Fri 1/10/25													
227	Shim, Square, & Attach Kitchen Countertops	2.5 days	Mon 1/6/25	Thu 1/9/25													
228	Clean, & Apply Adhesive to Undermount Sink, Install Undermount	1.5 days	Mon 1/6/25	Wed 1/8/25													
229	Shim & Attach Bathroom Vanity Countertops, Caulk	2 days	Wed 1/8/25	Fri 1/10/25													
230	Interior Door Installation	12 days	Mon 1/6/25	Wed 1/22/25													
231	Install All Swing Door Frames	4 days	Mon 1/6/25	Fri 1/10/25													
232	Install All Bi-Fold/Sliding Door Frames	3 days	Mon 1/6/25	Thu 1/9/25													
233	Hang All Interior Doors	3 days	Fri 1/10/25	Wed 1/15/25													
234	Install All Door Hardware	5 days	Wed 1/15/25	Wed 1/22/25													
235	Finish Stair Framing	2.2 days	Tue 12/31/24	Fri 1/3/25													
236	Remove Temporary Stair Tread	0.2 days	Tue 12/31/24	Wed 1/1/25													
237	Cut & Install 3/4" Plywood (Glued & Screwed to Stringers)	1 day	Wed 1/1/25	Thu 1/2/25													
238	Layout & Install Handrail Brackets & Handrails	1 day	Thu 1/2/25	Fri 1/3/25													
239	Floor Finish	20 days	Wed 1/15/25	Wed 2/12/25													
240	Prep All Floors (Clean, Scrap & Vacuum all Debris)	3 days	Wed 1/15/25	Mon 1/20/25													
241	Install Carpet Flooring in Guest Suite, & Owner Suite	1.5 days	Fri 1/31/25	Tue 2/4/25													
242	Install Tile in Guest Suite Bathroom, Bunk Room Bathroom, Laundry Room, & Owner Suite Bathroom	14 days	Mon 1/20/25	Fri 2/7/25													
243	Grout & Clean Tile	3 days	Fri 2/7/25	Wed 2/12/25													
244	Install Hardwood Flooring in Basement Hallway, Bunk Room, & Entire First Floor	3.5 days	Mon 1/20/25	Fri 1/24/25													
245	Interior Trim	12 days	Wed 1/15/25	Fri 1/31/25													
246	Cut & Install Window Jambes and Door/Casing Trim	7 days	Wed 1/15/25	Fri 1/24/25													
247	Cut & Install Base Board	5 days	Fri 1/24/25	Fri 1/31/25													
248	Finish Rough-Ins	3.5 days	Tue 12/31/24	Fri 1/3/25													
249	Finish Plumbing Install	3 days	Tue 12/31/24	Fri 1/3/25													
250	Finish Electrical Install	3.5 days	Tue 12/31/24	Fri 1/3/25													
251	Finish HVAC Install	2 days	Tue 12/31/24	Thu 1/2/25													
252	Kitchen/Bathroom Finishes	4.5 days	Fri 1/10/25	Thu 1/16/25													
253	Install Kitchen Tile Backsplash	4.5 days	Fri 1/10/25	Thu 1/16/25													
254	Install Bathroom Mirrors, Towel Bars, & Other	3 days	Fri 1/10/25	Wed 1/15/25													
255	Specialty Items	17.5 days	Fri 1/3/25	Wed 1/29/25													
256	Install Railings - Stairs, Deck	2.5 days	Wed 1/22/25	Mon 1/27/25													
257	Install Master & Other Closet Systems, Garage	3 days	Fri 1/3/25	Wed 1/8/25													
258	Install Fireplaces	3 days	Fri 1/24/25	Wed 1/29/25													
259	Install & Hookup Spa	1.5 days	Fri 1/3/25	Tue 1/7/25													
260	Specialty Inspection	0 days	Tue 1/7/25	Tue 1/7/25													
261	Final Inspection	0 days	Tue 1/7/25	Tue 1/7/25													
262	General Contractor Punchlist	2.5 days	Tue 1/7/25	Thu 1/9/25													
263	General Contractor Walkthrough Punchlist Items	0.5 days	Tue 1/7/25	Tue 1/7/25													
264	Touch Up Paint & Repair Any Damages Acquired During Construction	2 days	Tue 1/7/25	Thu 1/9/25													
265	Blower Door Test	0 days	Thu 10/24/24	Thu 10/24/24													
266	Final Cleaning	2 days	Wed 2/12/25	Fri 2/14/25													
267	Customer Walkthrough Punchli	0.5 days	Wed 2/12/25	Thu 2/13/25													
268	Clean Up Site, Sweep, Dust, Touch Up Paint, Clean Glass, Vacuum, Wipe Surfaces, Fix Any Defects	1.5 days	Thu 2/13/25	Fri 2/14/25													
269	Final Walkthrough	1 day	Fri 2/14/25	Mon 2/17/25													
270	Hand Keys over to Owners	1 day	Fri 2/14/25	Mon 2/17/25													

Project: Watasch County House
Date: Tue 12/19/23

Task Split

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Page 5



APEX
CONTRACTORS

“SOARING ABOVE YOUR EXPECTATIONS”

MISCELLANEOUS



NAHB Student Competition Associate Degree Programs Honor Pledge

To the best of my knowledge and belief, the information used in my team's solution to the competition is in accordance with the rules and guidelines of the NAHB Student Competition. On my honor, I have neither given nor received unauthorized assistance in the completion of this project.

Team (School) Name: NOSCS - Apex Contractors

Team Members:

Print Name	Signature
Emily Schmidt	
DAVID HARTUNG	
Glen Erickson	
Logan Prochnow	
Mikaela Prochnow	

Alternate Members (Optional):

Print Name	Signature
Chloe Lawrence	

Faculty Advisor/Coach:

Print Name	Signature
LARA LEVANG	

This form is REQUIRED. Submit one (1) copy per team within your proposal submission.



APEX CONTRACTORS



General Information

Beds: 4

Bath: 3 1/2

House Size: 2,937

Year: 2024

Price: \$1,495,000

Garage: 2

Property Type:
SingleFamily

Stories:

10226 N LIV PL,
Park City, Utah





APEX CONTRACTORS



General Information

Beds: 3

Bath: 2 1/2

House Size: 2,747

Year: 2023

Price: \$1,425,000

Garage: 2

Property Type:
Residential, Townhouse

Stories: Multi-Level

10226 N LIV PL,
Park City, Utah





APEX CONTRACTORS



General Information

Beds: 4

Bath: 2 1/2

House Size: 2,559

Year: 2024

Price: \$1,094,890

Garage: 2

Property Type:
TownHouse

Stories:

10226 N LIV PL,
Park City, Utah

