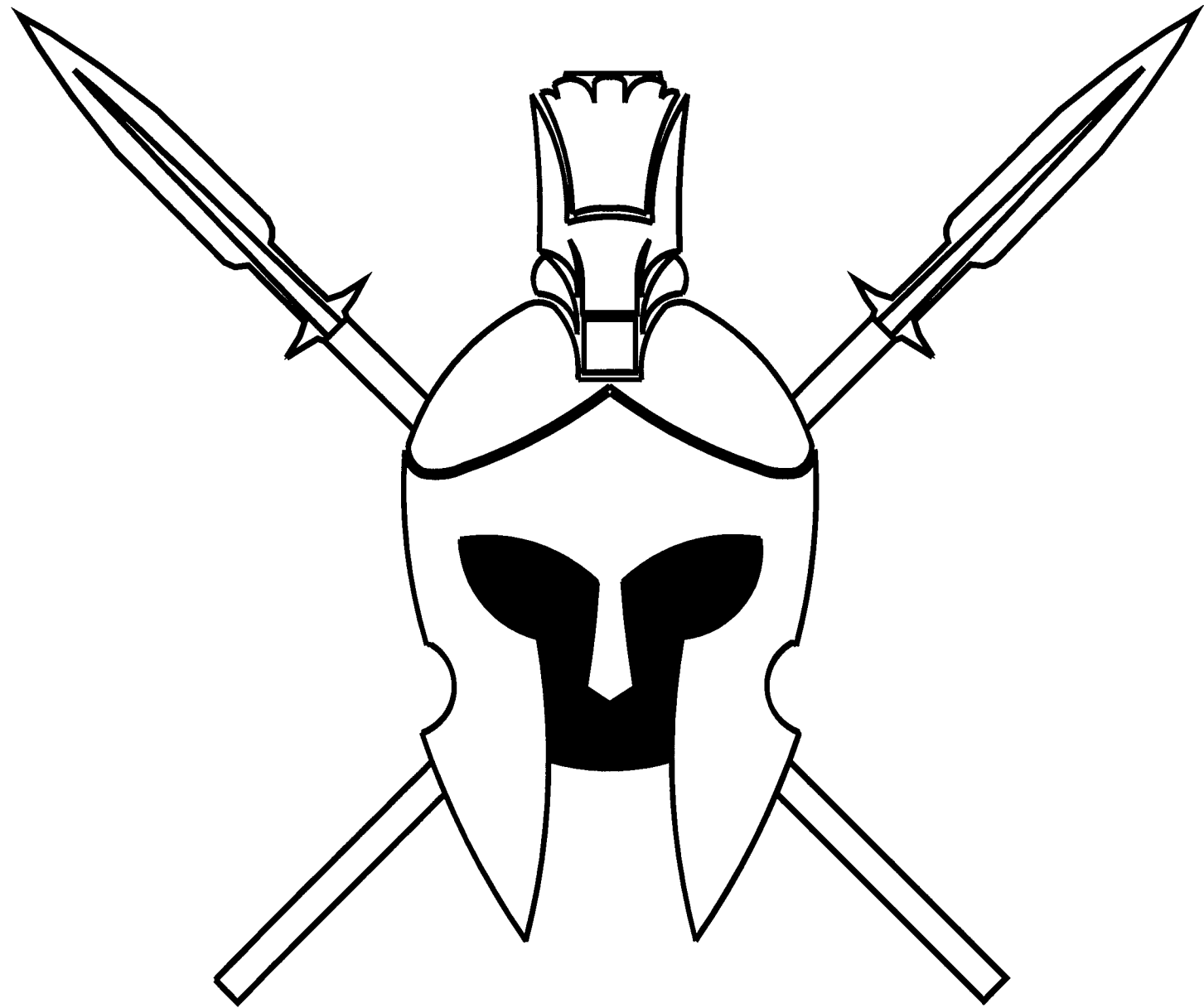


Drawings



York County School
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All the plans presented were developed and produced using the AutoCAD 2024 software as a solution to the 2023-2024 National Association of Home Builders Architecture Track. The competition this year presented us with many challenges that caused our team to use critical thinking to explore our solutions to overcome the struggle. While there were some difficulties in the drawing and design process, we did manage to enjoy our time together as we worked as a team to create a set of working drawings.

Once we had discovered our prompt and the resources given to us, it was time for us to begin planning the process by which we were going to complete the challenge. We received a complete permit set and a marketing booklet with door and window schedules. We used the 2015 IRC with Utah State. We were also able to utilize the site plan that resembled the area where the structure would be built. With the materials we were given, we were able to devise a plan and get to work producing a complete set of twelve working drawings with a cover sheet to top it all off. Plans A-1 and A-2 are our floor plans with A-3 being our foundation plan. Roof and ceiling plans reside on drawings A-4, A-5, and A-6. While we did encounter trouble with not adjusting room sizes or dimensions, we were eventually able to keep all the same measurements in the end. However, because of our trip to the NAHB competition last year, we were able to use our experience to build a starting point for our design process.

Plans A-10 and A-11 consist of our cross sections and details. We were able to draw two cross sections with one being cut horizontally through the garage and showing our drain system with the other section being cut vertically through the cantilever and the stairs. Using the locations of the two sections we can provide a great amount of detail for the more complex aspects of the design of the cabin. While we had the first cross-section to be able to use as a reference, we had to draw the other section from scratch which presented a few problems, but they were easily solved. Details included on A-11 are the footing detail, the joist detail, and the eave detail. The details provide a more in-depth look at certain aspects of the drawings provided.

One problem that was consistent with the duration of the project was the disagreements between team members when deciding how certain aspects of the project should be drawn. While the problem was persistent, we were able to overcome the challenge it brought to provide the most quality we could bring. Most of the problem was caused by the lack of understanding in the drawings given to us. Where some thought aspects were wrong, others felt that they were right. Will a little bit of research and a more in-depth thought process, we were able to overcome any difficulties that were brought to our attention during the process.

General Notes

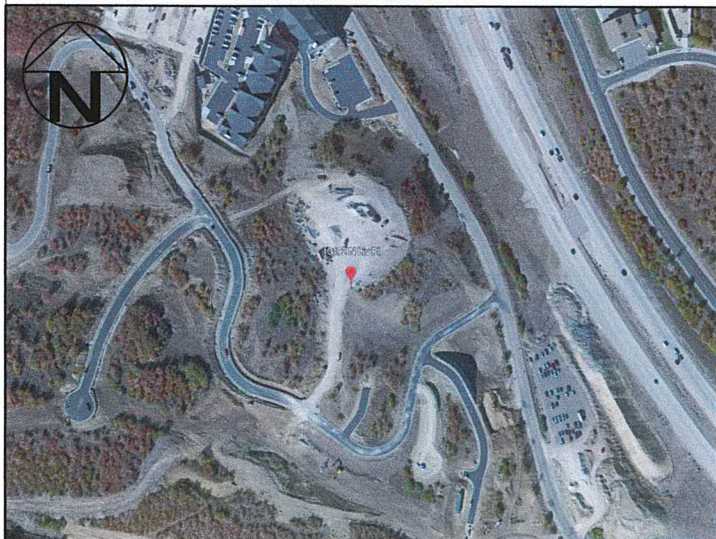
CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION IN PARK CITY, UTAH. ALL TRADES PERFORMING WORK SHALL MEET CODE REQUIREMENTS w/ REGARD TO MATERIALS. CONSTRUCTION, AND INSTALLATION METHODS. THESE DRAWINGS HAVE BEEN DEVELOPED IN COORDINATION w/ PROJECT SPECIFICATIONS. THE DRAWINGS AND SPECIFICATIONS SHALL BE USED COMPLIMENT TO EACH OTHER. REVIEW CONTRACT DOCUMENTS AND FIELD DIMENSIONS AND CONDITIONS. CONFIRM THAT WORK IS CONSTRUCTIBLE AS SHOWN. PROMPTLY REPORT ANY ERRORS, CONFLICTS, OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO ANY WORK. IF THE CONTRACTOR FAILS TO NOTIFY ARCHITECT OF A KNOWN NONCONFORMITY, THEN THE CONTRACTOR IS LIABLE TO COSTS AND DAMAGES TO THE OWNER AS WOULD HAVE BEEN AVOIDED IF NOTIFICATION HAD BEEN PERFORMED. COORDINATE WORK w/ THE OWNER/TENANT, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS. DURING CONSTRUCTION, EACH TRADE SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK.

Building Codes & Information

BUILDING CODE:
2015 INTERNATIONAL RESIDENTIAL CODE (I.R.C.) w/ UTAH STATE AMENDMENTS
PLUMBING CODE:
2015 INTERNATIONAL PLUMBING CODE (I.P.C.)
ELECTRICAL CODE:
2017 NATIONAL ELECTRICAL CODE (N.E.C.)

ACCESSIBILITY:
2009 ANSI 117.1 & 2015 I.B.C.
MECHANICAL CODE:
2015 INTERNATIONAL MECHANICAL CODE (I.M.C.)
FIRE CODE:
2015 INTERNATIONAL FIRE CODE (I.F.C.)
ENERGY CONVERSION:
2015 INTERNATIONAL ENERGY CONSERVATION CODE (I.E.C.C.)

Ariel View Map



NAHB 2024 ARCHITECTURE TRACK TEAM MEMBERS:

HAYDEN MILLER, DONOVAN WALKER, MATTHEW KELLER, OMARI SIRMON, ADELINA KHOLBUS



VELVAERE CABIN B, 10226 NORTH LIV PLACE, UTAH

SPECIFICATION CHART

GROUND SNOW LOAD
- 94psf
WIND DESIGN
- 115mph
- no topographical effects
- no special wind region
- no wind borne debris zone
SEISMIC DESIGN CATEGORY
- D or DI

SUBJECT TO DAMAGE FROM
- severe weathering
- 40" frost line depth
- slight termite
ICE BARRIER UNDERLAYMENT REQ.
- yes
FLOOD HAZARD
- minimal

MEAN ANNUAL TEMPERATURE
- 40F°
WINTER DESIGN TEMPERATURE
- -7F°
AIR FREEZING INDEX
- 2500

DWG. INDEX

CS-1 - COVER SHEET
A-1 - LVL.1 FLOOR PLAN
A-2 - LVL.0 FLOOR PLAN
A-3 - FOUNDATION PLAN
A-4 - ROOF PLAN
A-5 - LVL.1 CEILING PLAN
A-6 - LVL.0 CEILING PLAN
A-7 - ELEVATIONS
A-8 - ELEVATIONS
A-9 - SITE PLAN
A-10- CROSS SECTIONS
A-11 - CONNECTION DETAILS
A-12 - DETAILS

2024 NAHB comp.



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HATCH PATTERNS

EARTH -----

GRAVEL -----

CONCRETE -----

DRYWALL -----

VENEER -----

FRAMING -----

BATT INS. -----

METAL SIDING -----

Drawn by:
HAYDEN M.

COVER SHEET

Date: 11/7/23

Revisions:

PROPERTY INFO.

PROPOSED
2 STORY CABIN
BY VELVAERE
SQUARE FOOTAGE
GROSS:
LVL. 0 - 1443sqft.
LVL. 1 - 1355sqft.
TOTAL - 2798sqft.
BUILDING AREA:
FINISHED - 2193sqft.
UNFINISHED - 508sqft.
TOTAL - 2701sqft.

Checked by:
MATTHEW K.

Date: 11/20/23

Scale: 1/4" = 1'-0"

CS-1



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Drawn by:

MATTHEW K.

LVL. 1 FLOOR PLAN

Date: 9/4/23

Revisions:

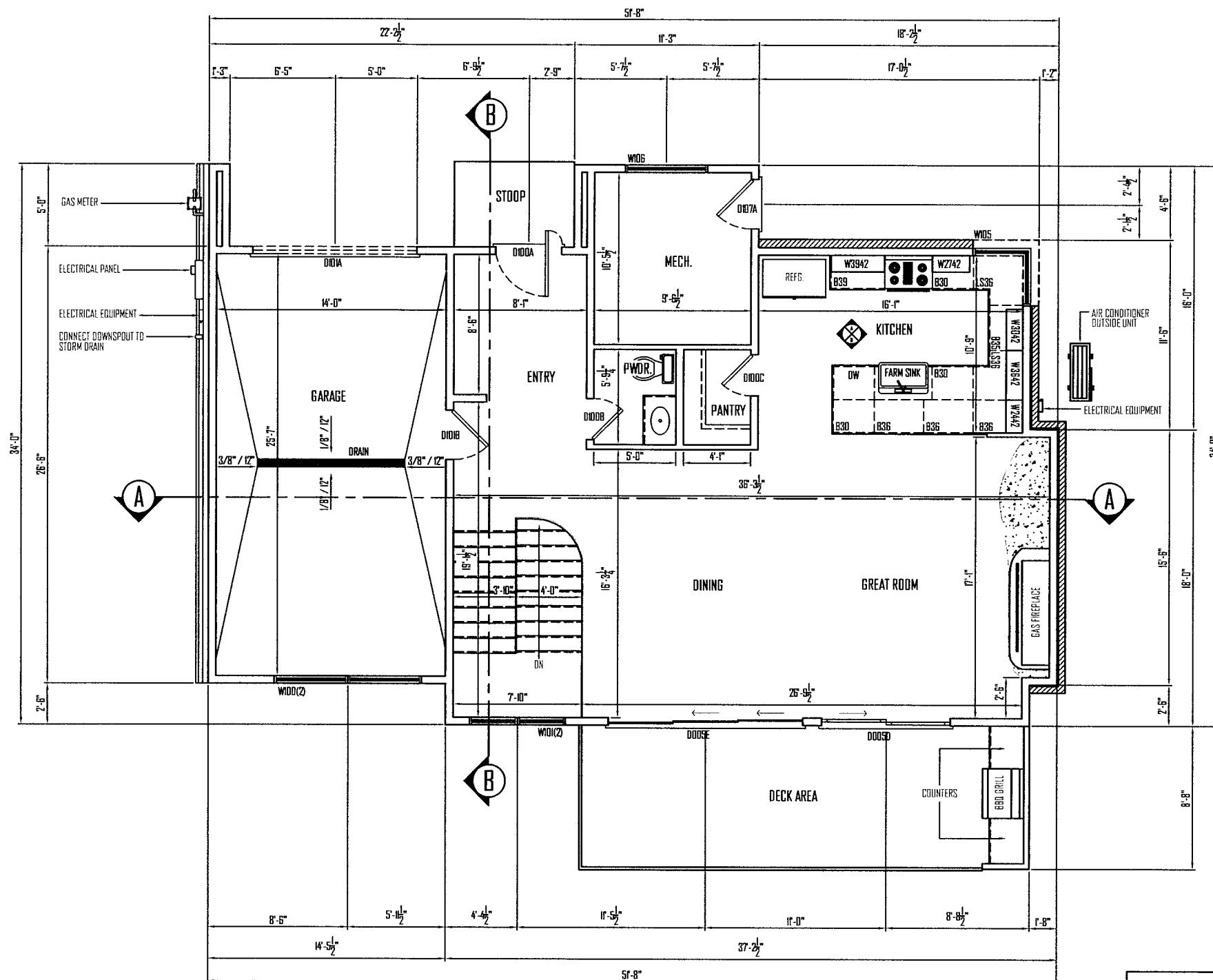
Checked by:

DONOVAN W.

Date: 10/2/23

Scale: 1/4" = 1'-0"

A-1



LEVEL ONE

SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD UNLESS NOTED OTHERWISE
2. CEILING HEIGHTS MEASURED FROM PLYWOOD OR CONCRETE - SEE SECTIONS
3. REFER TO ENLARGED PLANS FOR ALL UNITS DIMENSIONS, WINDOW TYPES, DOORS AND TYPES
4. REFER TO ENLARGED PLANS FOR ALL DECKS/PATIOS
5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS
6. ALL TOPPING SLABS MUST BE POURED FOR ADDITIONAL INFORMATION AND DETAILS.
7. COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
8. COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES
9. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER, AND DATA REQUIREMENTS
10. ALL EXTERIOR WALLS ARE ASSUMED TO BE 2x6 STUD WALLS UNLESS NOTED OTHERWISE
11. ALL INTERIOR WALLS ARE ASSUMED TO BE 2x4 STUD WALLS UNLESS NOTED OTHERWISE
12. ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS.)



Drawn by:

HAYDEN M.

LVL.0 FLOOR PLAN

Date: 10/6/23

Revisions:

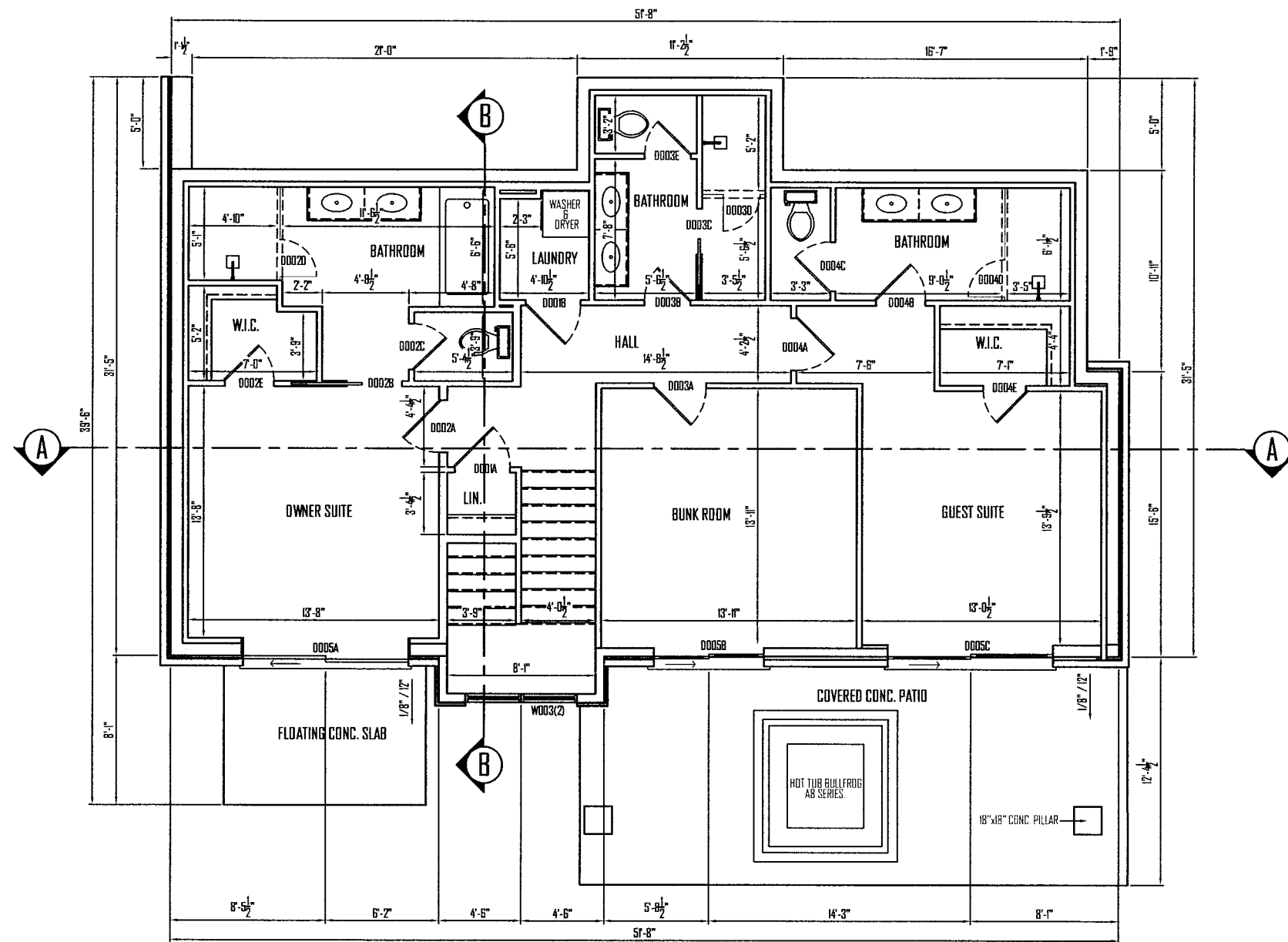
Checked by:

MATTHEW K.

Date: 11/17/23

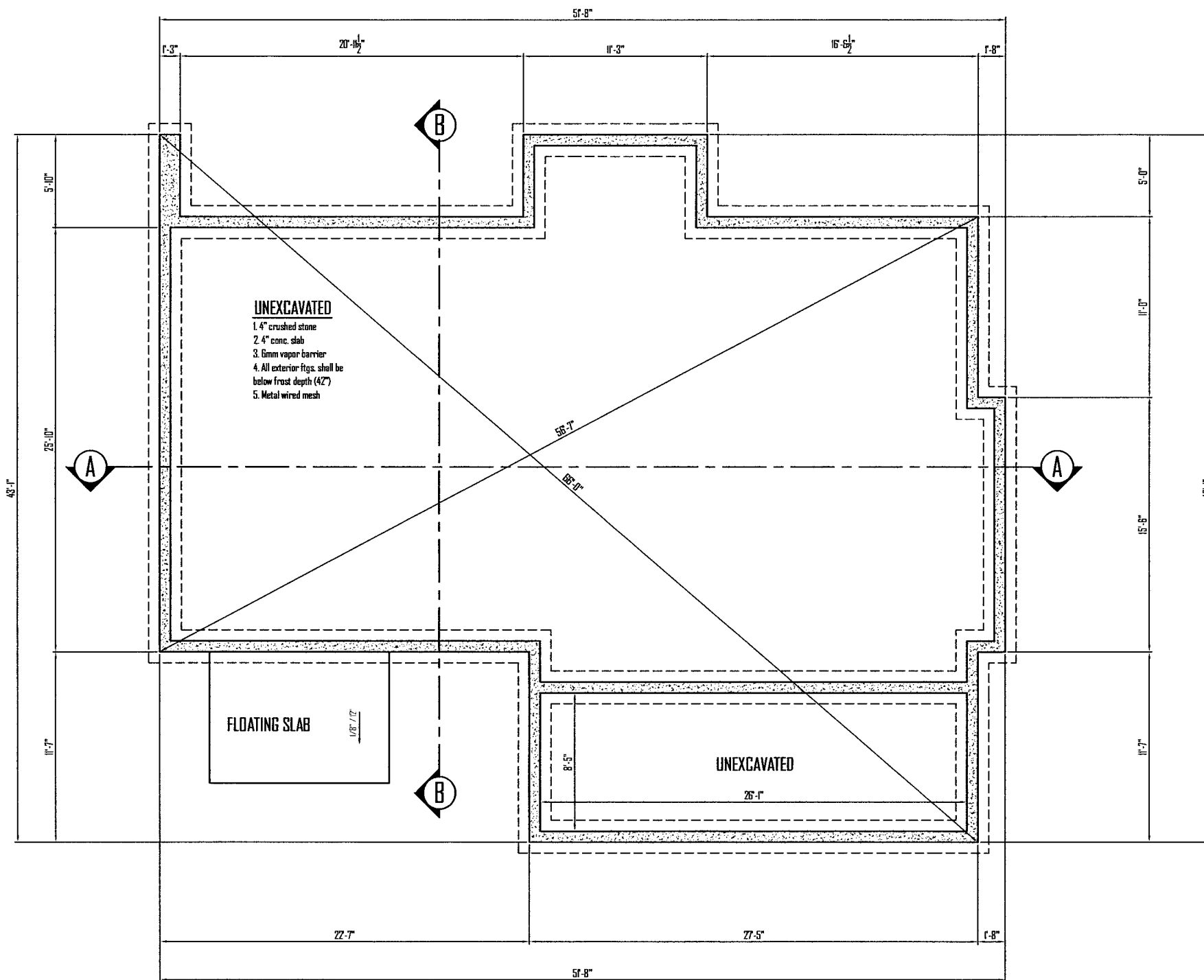
Scale: 1/4" = 1'-0"

A-2



LEVEL ZERO

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

2024 NAHB comp.



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Drawn by:

HAYDEN M.

**FOUNDATION
 PLAN**

Date: 10/1/23

Revisions:

Checked by:

MATTHEW K.

Date: 11/1/23

Scale: 1/4" = 1'-0"

A-3



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Drawn by:

HAYDEN M.

ROOF PLAN

Date: 11/6/23

Revisions:

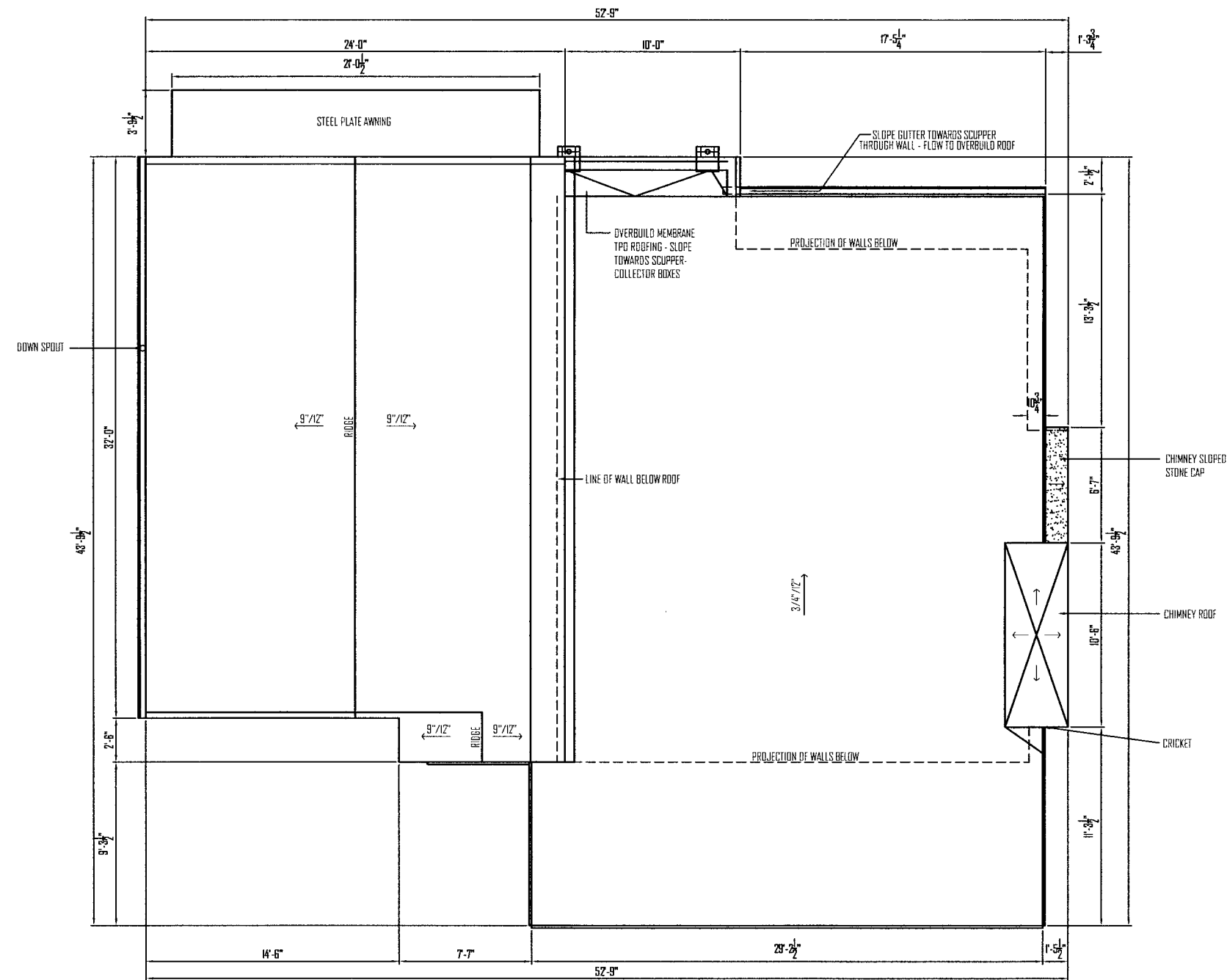
Checked by:

MATTHEW K.

Date: 11/17/23

Scale: 1/4" = 1'-0"

A-4



ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOF PLAN GENERAL NOTES

1. FLASH ALL ROOF PENETRATIONS WHETHER SHOWN OR NOT.
2. COORDINATE W/ MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL ROOF PENETRATIONS.
3. PROVIDE HEAT TRACE IN ALL RAIN CUTTERS, DOWN SPOUTS AND RAIN CHAINS.
4. ROOFING CONTRACTOR SHALL REVIEW ALL SUBSTRATES PRIOR TO BEGINNING WORK.
5. ALL ROOFING SHALL BE REVIEWED PRIOR TO INSTALLATION.
6. CONTRACTOR IS RESPONSIBLE TO ASSUME THAT NO ROOF SLOPES CREATE DEAD SPOTS OR LOW SPOTS THAT WILL PREVENT DRAINAGE.
7. ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSTALLATION OVER EXTERIOR WALLS.
8. DIMENSIONS SHOWN ON THE ROOF PLAN ARE FROM THE EXTERIOR SIDE OF THE STUD FRAMING BELOW.



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Drawn by:

HAYDEN M.

CEILING PLAN I

Date: 11/2/23

Revisions:

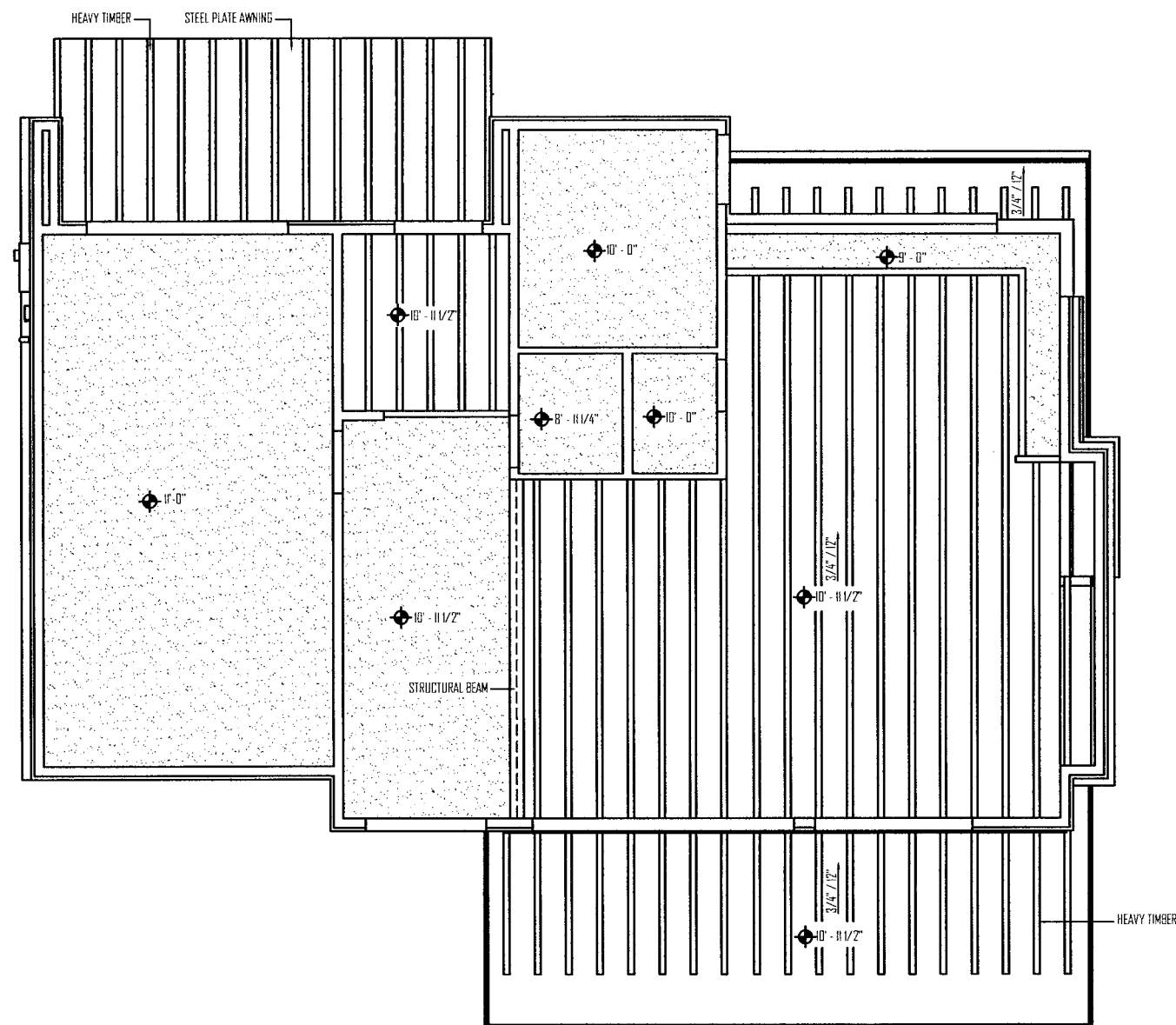
Checked by:

DONOVAN W.

Date: 11/17/23

Scale: 1/4" = 1'-0"

A-5



LVL. 1 CEILING LEGEND

STEEL PLATE AWNING 

TIMBER 

HEAVY TIMBER 

DRYWALL 

LVL.1 CEILING PLAN
SCALE: 1/4" = 1'-0"



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Drawn by:

HAYDEN M.

CEILING PLAN 0

Date: 11/2/23

Revisions:

Checked by:

DONOVAN W.

Date: 11/17/23

Scale: 1/4" = 1'-0"



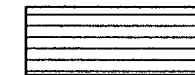
LVL. 0 CEILING PLAN
SCALE: 1/4" = 1'-0"

LVL. 0 CEILING LEGEND

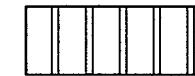
BRICK MASONRY



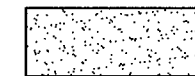
TIMBER

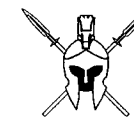


HEAVY TIMBER



DRYWALL





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Drawn by:

HAYDEN M.

ELEVATIONS

Date: 11/6/23

Revisions:

Checked by:

MATTHEW K.

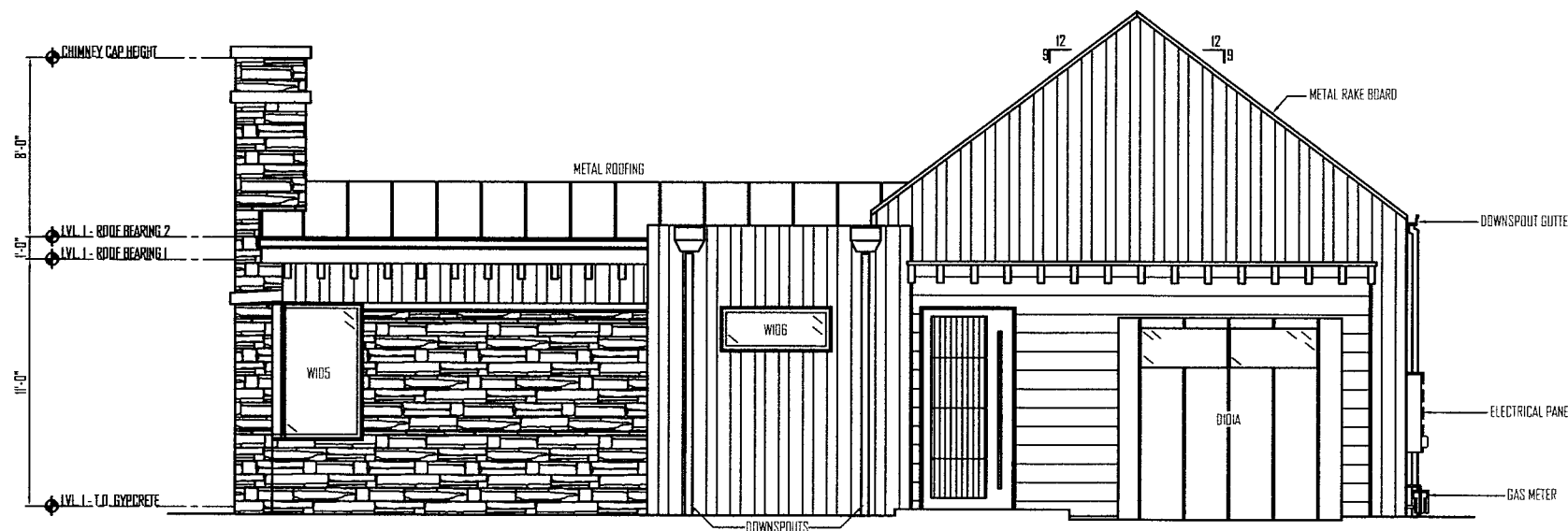
Date: 11/30/23

Scale: 1/4" = 1'-0"

A-7



SOUTH ELEVATION
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"



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Drawn by:

DONOVAN W.

ELEVATIONS

Date: 11/6/23

Revisions:

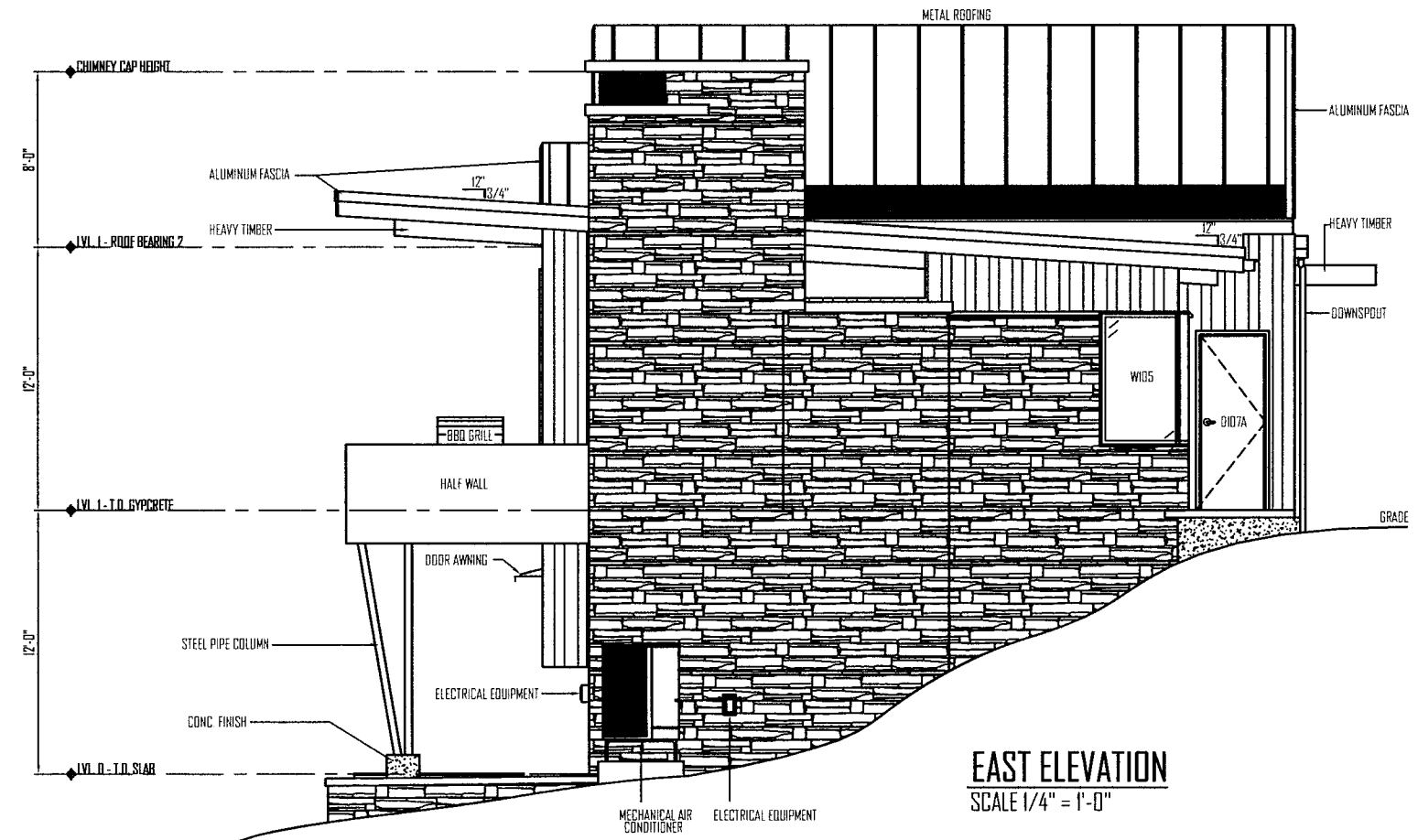
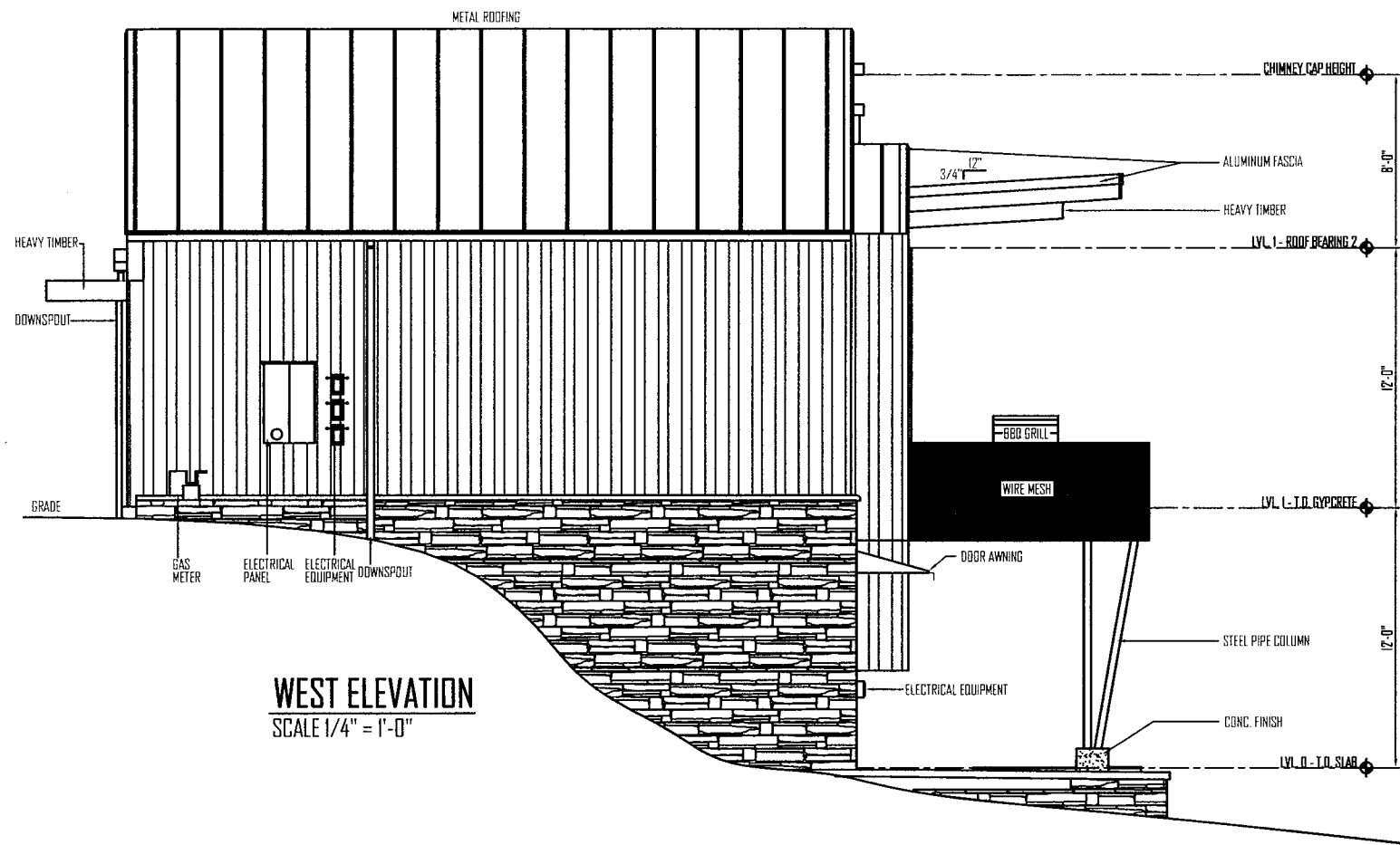
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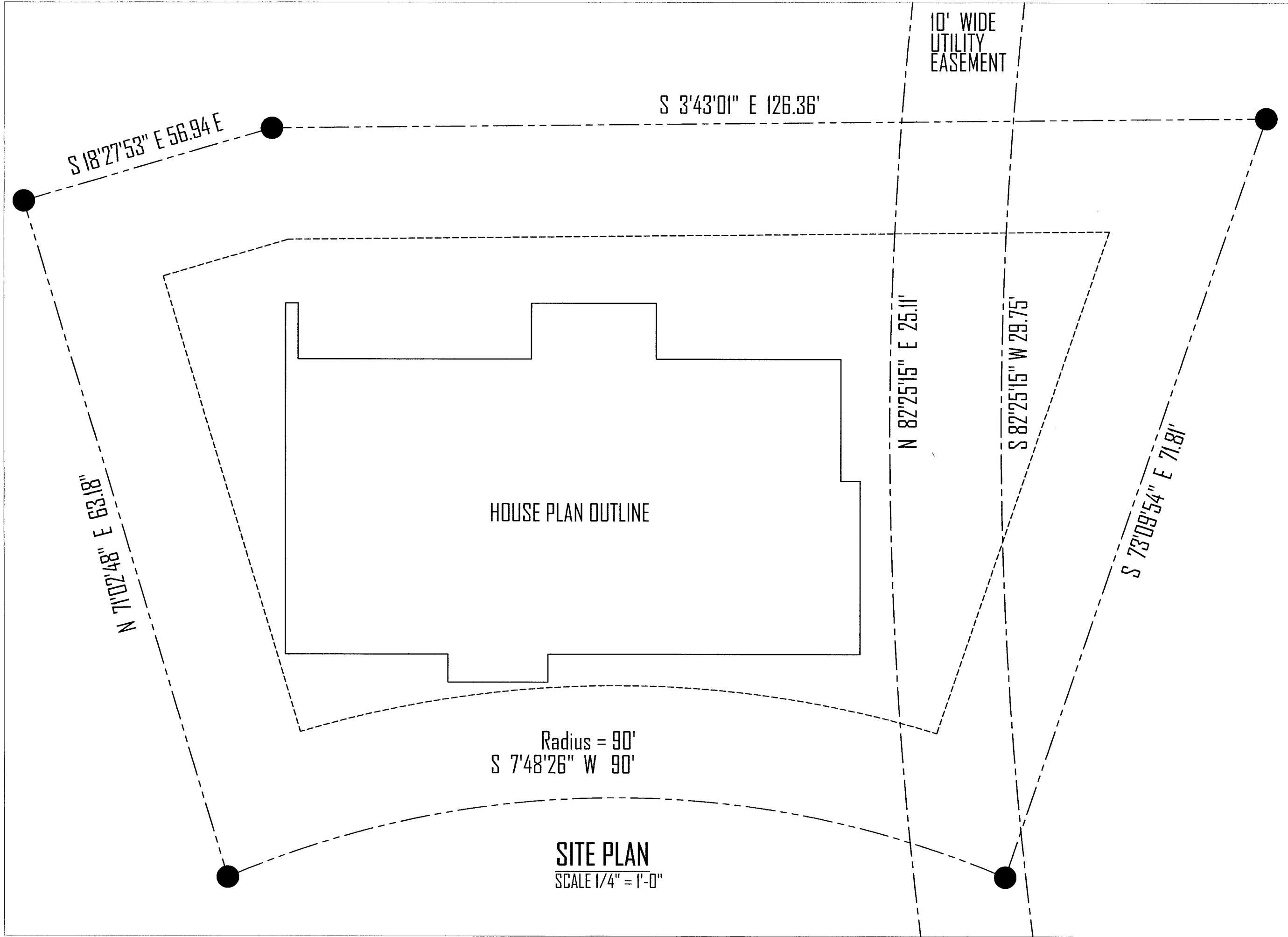
MATTHEW K.

Date: 11/30/23

Scale: 1/4" = 1'-0"

A-8





10' WIDE
UTILITY
EASEMENT

S 3'43'01" E 126.36'

S 18'27'53" E 56.94 E

N 71'02'48" E 63.18"

HOUSE PLAN OUTLINE

N 82'25'15" E 25.11'

S 82'25'15" W 29.75'

S 73'09'54" E 71.81'

Radius = 90'
S 7'48'26" W 90'

SITE PLAN
SCALE 1/4" = 1'-0"

2024 NAHB comp.



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Drawn by:

DMARI S.

SITE PLAN

Date: 11/15/23

Revisions:

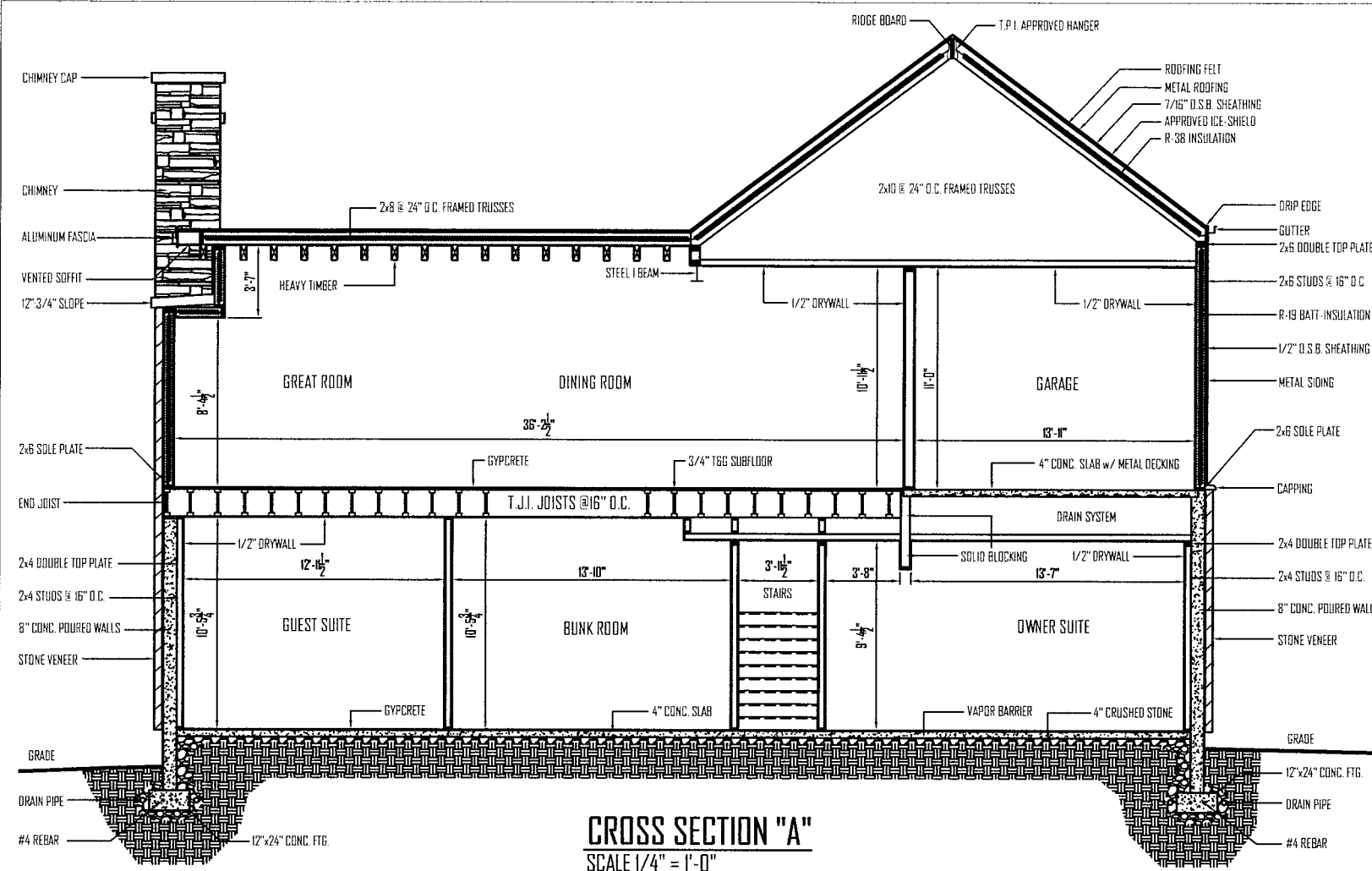
Checked by:

HAYDEN M.

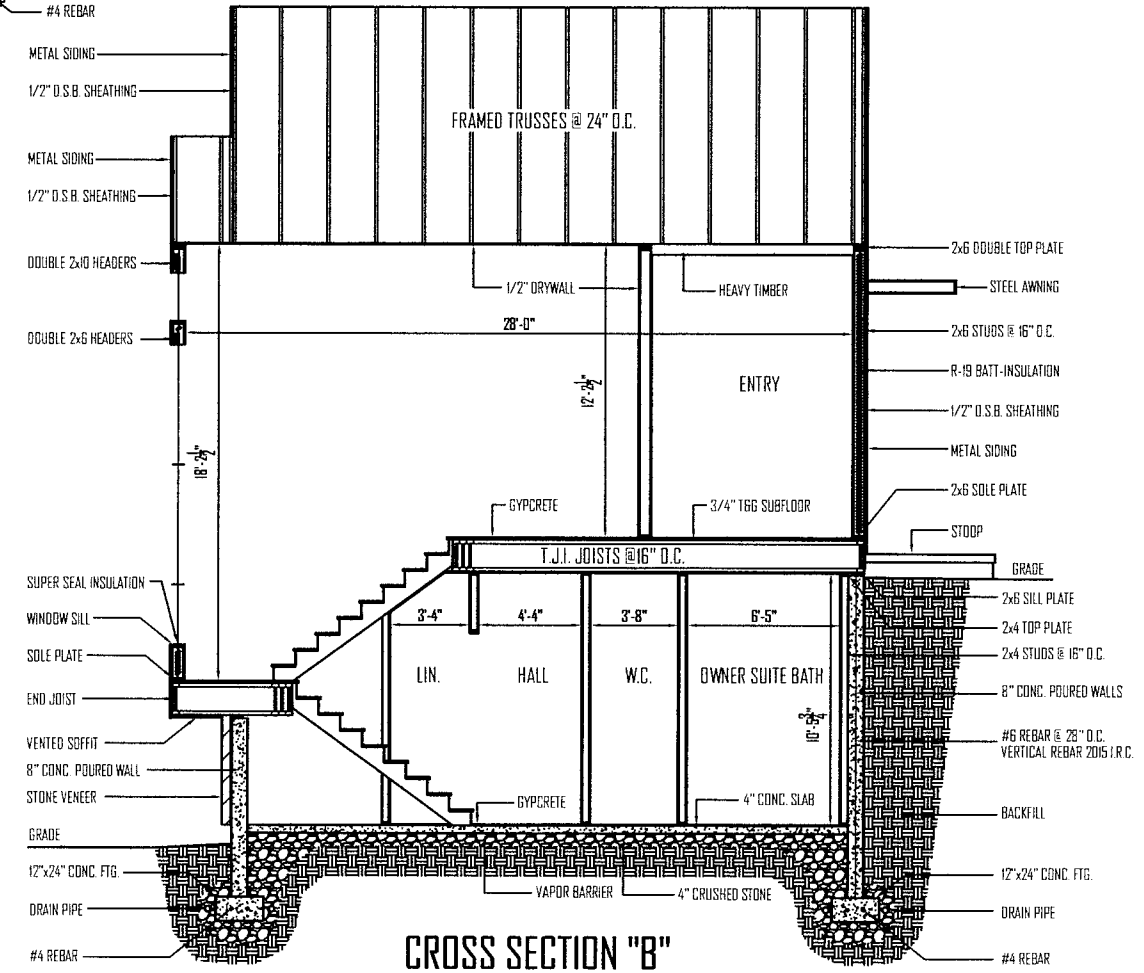
Date: 12/1/23

Scale: 1/4" = 1'-0"

A-9



CROSS SECTION "A"
SCALE 1/4" = 1'-0"



CROSS SECTION "B"
SCALE 1/4" = 1'-0"

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Drawn by:
HAYDEN M.

CROSS SECTIONS

Date: 11/28/23

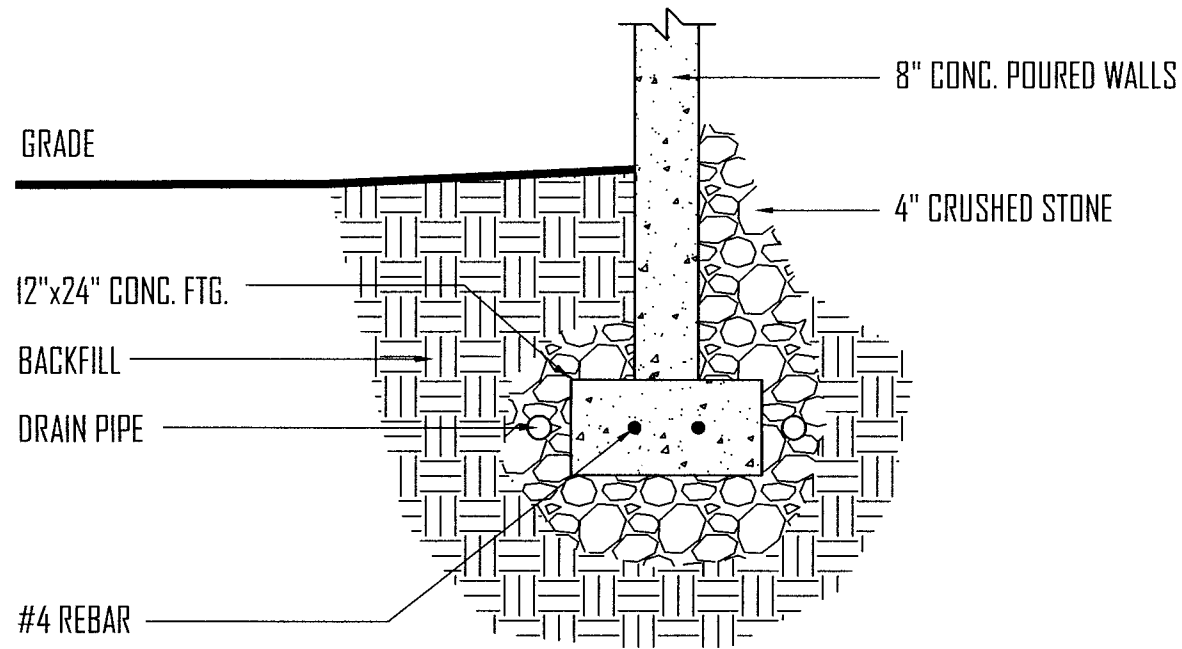
Revisions:

Checked by:
DONOVAN W.

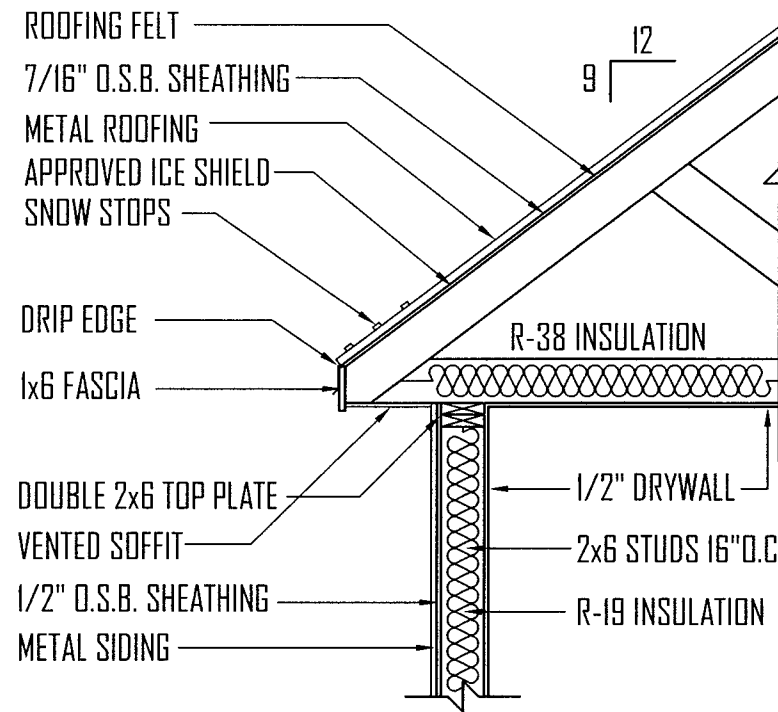
Date: 12/1/23

Scale: 1/4" = 1'-0"

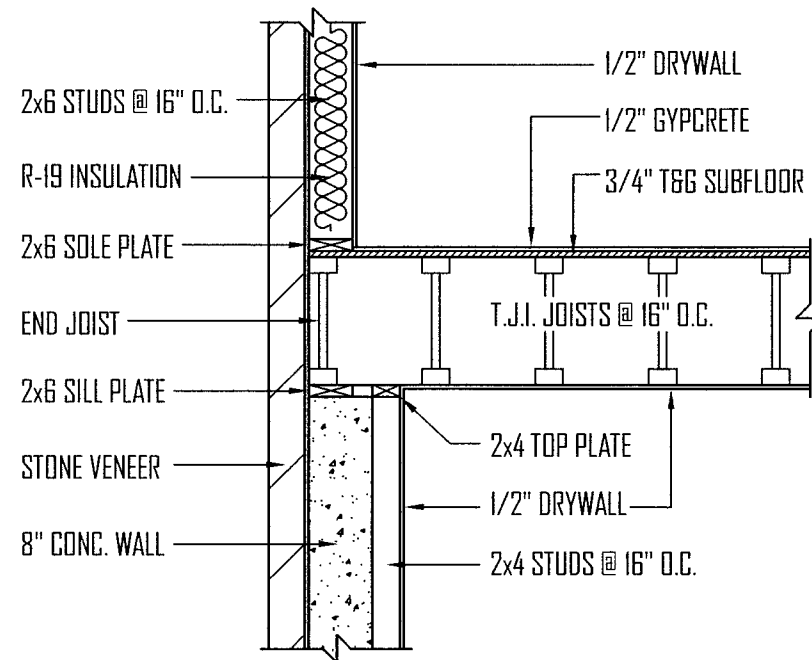
A-10



FOOTING DETAIL
SCALE 1" = 1'-0"



EAVE DETAIL
SCALE 1" = 1'-0"



JOIST DETAIL
SCALE 1" = 1'-0"

2024 NAHB comp.



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Drawn by:

**HAYDEN M.
&
MATTHEW K.**

DETAILS

Date: 11/28/23

Revisions:

Checked by:

ADELINA K.

Date: 12/1/23

Scale: 1/4" = 1'-0"

A-11



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Drawn by:

**HAYDEN M.
&
ADELINA K.**

DETAILS

Date: 11/28/23

Revisions:

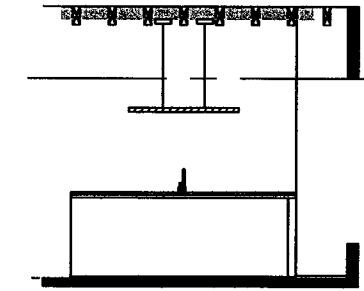
Checked by:

OMARI S.

Date: 12/1/23

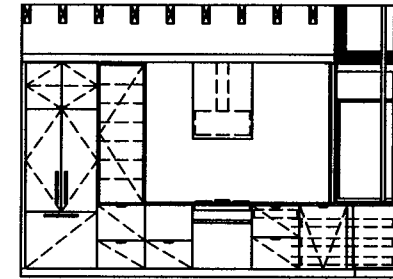
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A-12



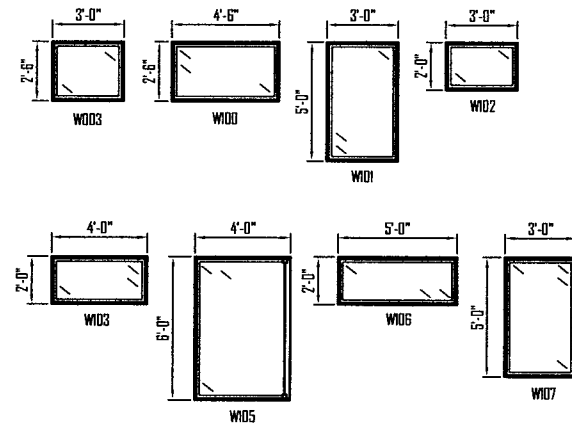
KITCHEN ELEVATION "B"

SCALE 1/4" = 1'-0"



KITCHEN ELEVATION "A"

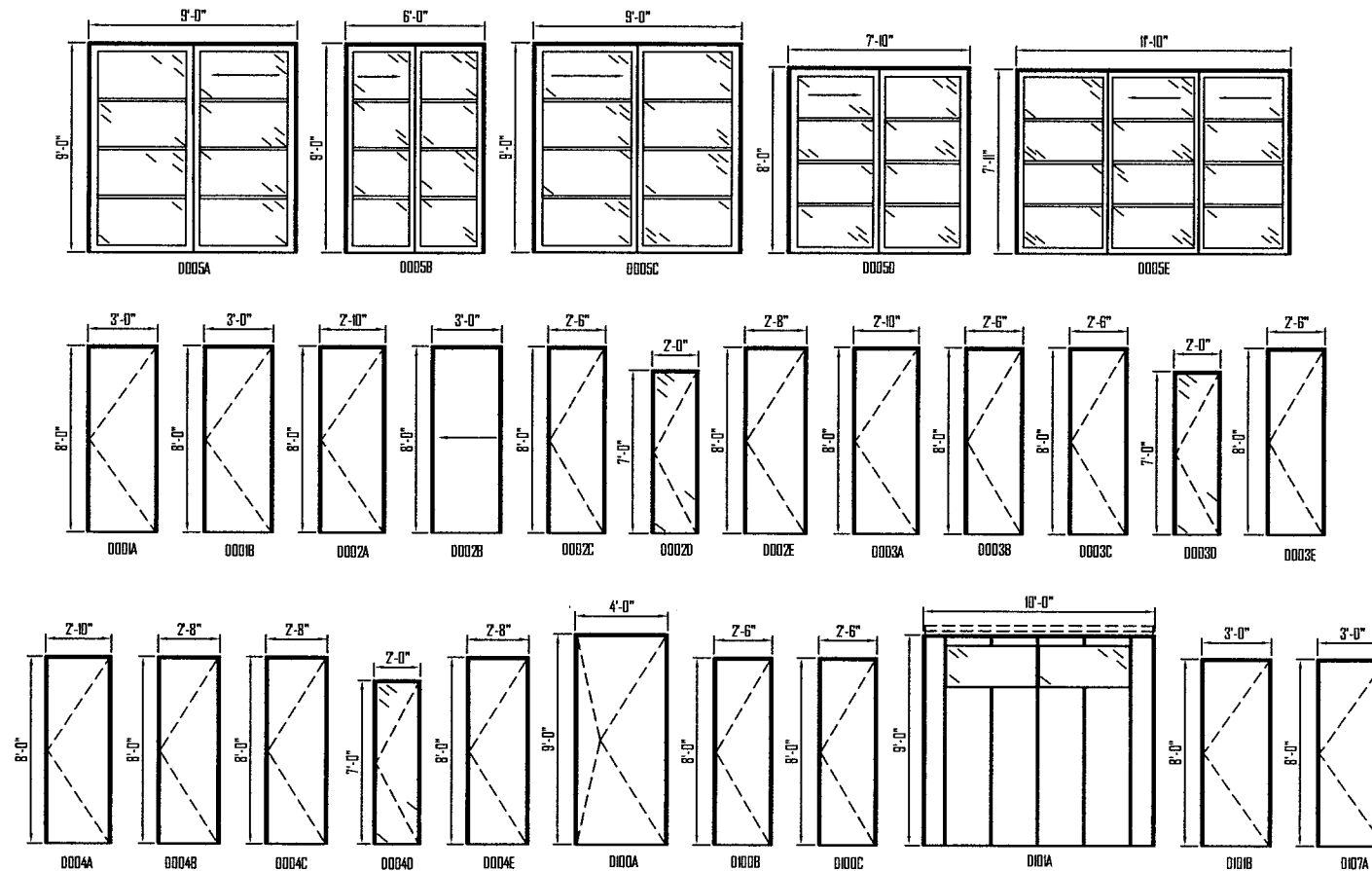
SCALE 1/4" = 1'-0"



WINDOW SCHEDULE			
MARK	WIDTH	HEIGHT	TYPE
W003	3'-0"	2'-5"	FIXED
W004	4'-5"	2'-5"	FIXED
W001	3'-0"	5'-0"	FIXED
W002	3'-0"	2'-0"	FIXED
W003	4'-0"	2'-0"	FIXED
W005	4'-0"	6'-0"	CORNER
W006	5'-0"	2'-0"	FIXED
W007	3'-0"	5'-0"	FIXED

WINDOW SCHEDULE

SCALE 1/4" = 1'-0"

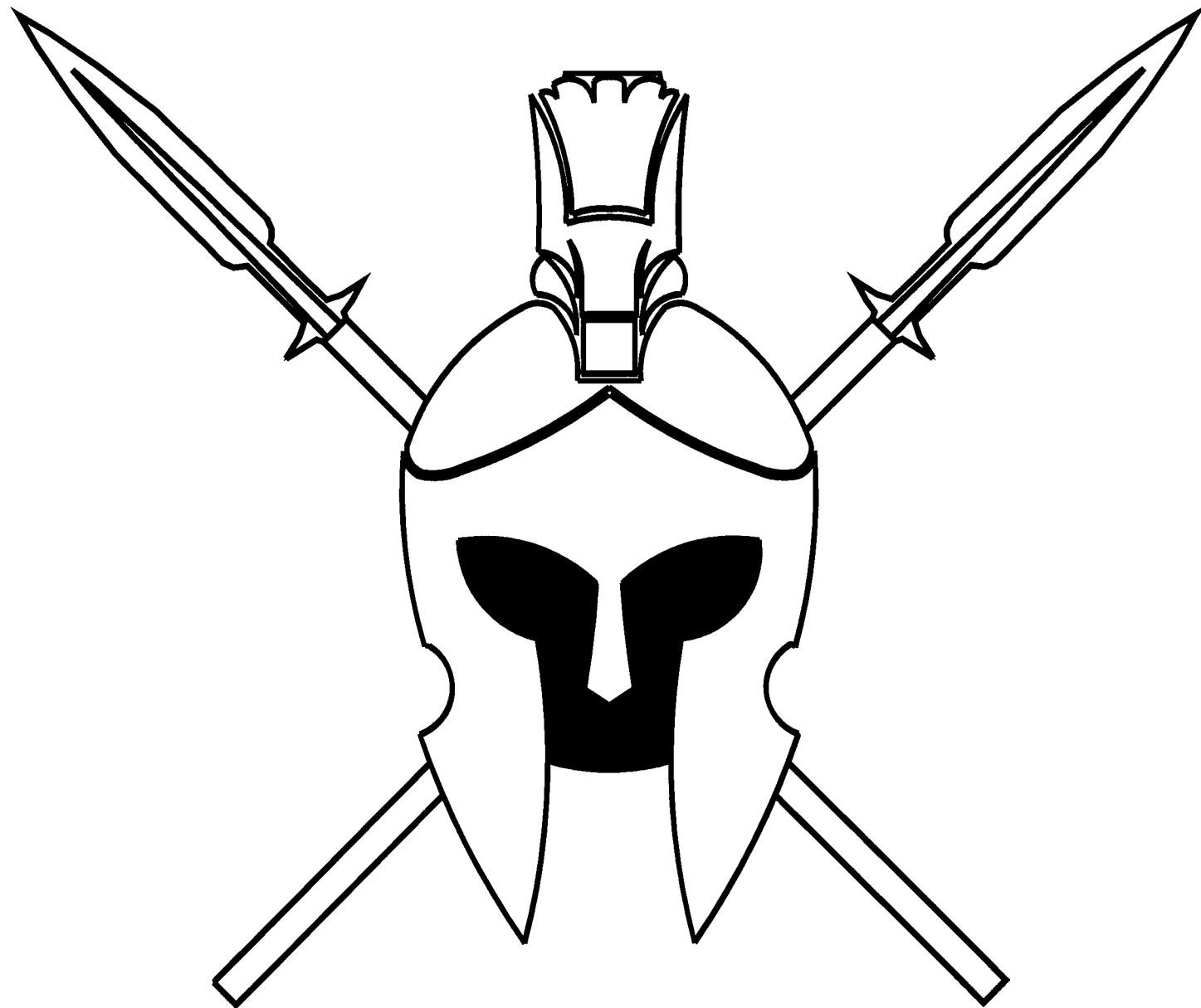


DOOR SCHEDULE			
MARK	WIDTH	HEIGHT	MATERIAL
D005A	9'-0"	9'-0"	ALUMINUM
D005B	6'-0"	9'-0"	ALUMINUM
D005C	9'-0"	9'-0"	ALUMINUM
D005D	7'-10"	8'-0"	ALUMINUM
D005E	11'-10"	7'-11"	ALUMINUM
D001A	3'-0"	8'-0"	WOOD
D001B	3'-0"	8'-0"	WOOD
D002A	2'-10"	8'-0"	WOOD
D002B	3'-0"	8'-0"	WOOD
D002C	2'-6"	8'-0"	WOOD
D002D	2'-0"	7'-0"	GLASS
D002E	2'-8"	8'-0"	WOOD
D003A	2'-10"	8'-0"	WOOD
D003B	2'-6"	8'-0"	WOOD
D003C	2'-6"	8'-0"	WOOD
D003D	2'-0"	7'-0"	GLASS
D003E	2'-6"	8'-0"	WOOD
D004A	2'-10"	8'-0"	WOOD
D004B	2'-8"	8'-0"	WOOD
D004C	2'-8"	8'-0"	WOOD
D004D	2'-0"	7'-0"	GLASS
D004E	2'-8"	8'-0"	WOOD
D101A	4'-0"	9'-0"	WOOD/METAL
D101B	2'-6"	8'-0"	WOOD
D101C	2'-6"	8'-0"	WOOD
D101A	10'-0"	9'-0"	PER MANUF.
D101B	3'-0"	8'-0"	WOOD
D107A	3'-0"	8'-0"	WOOD

DOOR SCHEDULE

SCALE 1/4" = 1'-0"

Estimation



York County School
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This year's competition was a lot easier than last year's, as we had experience from last year to go off of and guide us in the right direction. We also had some more time to prepare, unlike last year when we got the materials late. Just like last year, this year was also challenging as we're not experienced in the areas where the project(s) are located.

The resources we used were the same as last year including some other forms of estimating that were more accurate than some of the ways we did last year. Those resources were; RSMeans book of 2023, Company's quotes, online resources, and more. One of the challenging parts of the estimation was figuring out the floating slab as we don't usually work with them too often, so finding quotes was fairly hard as our shop doesn't get involved too much with the actual grade of metal decking required based on spans etc.

A controversial area in the estimation for us is labor as everyone does things differently. For example, some may have a team work for 8 hours with 8-10 men, and others may work for 6 hours with 10-12 men, etc. Therefore, determining the "correct" amount of pay for labor can heavily change the estimate in a house such as this. Another factor that could dramatically affect the price for labor would be the professionalism of the workers, it's a ratio of how much you're willing to pay to how well you want it done. Some don't want perfect workers as they're costly, but you also don't want the cheapest, so finding that middle can vary from person to person.

Since the home this year was a smart home, it was fairly expensive and difficult to manage as the numbers for simple things like furniture were at exceedingly high prices. We did manage to keep everything organized with the estimate we were provided with which helped speed up the process a lot rather than starting from scratch.

Finally, the estimate was one of the most expensive estimates we've completed. It was challenging because we didn't focus on estimation a lot in our class, so we had to teach ourselves/research a lot before we even started the estimate. In the end, we overcame the challenges presented by the project and adapted to the challenges we didn't expect.

COST ESTIMATE FOR CABIN TYPE "B"



YORK COUNTY SCHOOL OF TECHNOLOGY 2024 ARCHITECTURE TRACK
 2179 SOUTH QUEEN STREET, YORK, PA 17402 (717)-742-0820

Item #	Product Item Name	Takeoff Qty. Quantity	UOM	Unit Cost Cost/Unit	UOM	Amount Total
02-00	SITE WORK	Quantity	UOM	Cost/Unit	UOM	Total
02-0203	Stake Building	1,765	SF	1.83	/SF	3,230
02-0213	SWPPP Plan BMP	270	LF	30.00	/LF	8,100
02-0214	Lot Clearing	5,809	SF	3.00	/SF	17,474
02-0220	Excavation	848	CY	100.00	/CY	84,800
02-0221	Rough Grade	1,765	SF	8.50	/SF	15,003
02-0222	Interior Concrete Grading	1,287	SF	2.00	/SF	2,574
02-0223	Exterior Concrete Grading	352	SF	6.00	/SF	2,112
02-0224	Finish Grade	1,765	SF	2.00	/SF	3,530
02-0225	Hauling	30	CY	400.00	/CY	12,000
02-0230	Backfill & Compact	364	CY	45.00	/CY	16,380
02-0232	Gas Lines	200	LF	20.00	/LF	4,000
02-0233	Elec/Phone/T.V. Line	60	LF	25.00	/LF	1,500
02-0234	Water Lines	180	LF	200.00	/LF	36,000
02-0235	Sewer Lines	80	LF	200.00	/LF	16,000
02-0237	Storm Water System	25	LF	150.00	/LF	3,750
02-0238	Footing Drain	400	LF	25.00	/LF	10,000
02-0239	Radon Systems	100	LF	20.00	/LF	2,000
02-0280	Landscaping	4,336	SF	15.00	/SF	65,040
02-0285	Sprinkler Systems	5,809	SF	1.50	/SF	8,714
	SITE WORK		SSF		/SSF	312,206
03-00	CONCRETE	Quantity	UOM	Cost/Unit	UOM	Total
03-0310	Footings	322	LF	32.00	/LF	10,304
03-0320	Foundations	1,765	SF	6.30	/SF	11,120
03-0321	Concrete Site Walls	152	SF	50.00	/SF	7,600
03-0330	Flatwork Interior	455	SF	11.00	/SF	5,005
03-0340	Decorative Exterior Concrete	48	SF	32.00	/SF	1,536
03-0350	Concrete Pumps	1	EA	12,000.00	/EA	12,000
03-0352	Gypcrete	875	SF	4.00	/SF	3,500
03-0353	Spandeck/Suspended Slabs	395	SF	23.00	/SF	9,085
03-0355	Concrete Cutting	73	LF	33.00	/LF	2,409
03-0360	Concrete Disposal	160	MO	12.00	/MO	1,920
	CONCRETE		CY		/CY	64,479

04-00	MASONRY	Quantity	UOM	Cost/Unit	UOM	Total
04-0415	Stone Masonry - Site Walls	84	SF	30.00	/SF	2,520
04-0430	Interior Stone Masonry	25	SF	25.00	/SF	625
04-0431	Exterior Stone Masonry	1,291	SF	14.00	/SF	18,074
04-0432	Masonry Accents	50	LF	40.00	/LF	2,000
	MASONRY		GSF		/GSF	23,219
05-00	METALS	Quantity	UOM	Cost/Unit	UOM	Total
05-0510	Structural Steel	2,375	LBS	1.65	/LBS	3,919
05-0515	Steel Connections	250	LBS	1.65	/LBS	413
05-0525	Exterior Railing	35	LF	175.00	/LF	6,125
05-0526	Interior Railing	35	LF	300.00	/LF	10,500
05-0540	Decorative Metal	230	SF	30.00	/SF	6,900
	METALS		GSF		/GSF	27,856
06-00	CARPENTRY	Quantity	UOM	Cost/Unit	UOM	Total
06-0600	Framing - Labor	2,941	GSF	16.11	/GSF	47,380
06-0601	Framing - Material	2,941	GSF	11	/GSF	33,057
06-0602	Framing - Trusses	120	EA	324.00	/EA	38,880
06-0604	Pickup Framing	1,250	GSF	4.00	/GSF	5,000
06-0610	Finish Carpentry - Labor	7	FSF	2,720.00	/FSF	19,040
06-0611	Finish Carpentry - Material	15,000	LF	5	/LF	75,000
06-0612	Detail Finish Carpentry - Labor	2,000	SF	25	/SF	50,000
06-0613	Detail Finish Carpentry - Material	2,000	SF	20	/SF	40,000
06-0620	Siding Labor	1,475	SF	2	/SF	3,500
06-0621	Siding Material	1,475	SF	2	/SF	2,794
06-0630	Deck Surface Labor	243	SF	13	/SF	3,200
06-0631	Deck Surface Material	243	SF	6	/SF	1,489
06-0650	Cabinetry	56	LF	700	/LF	39,200
06-0651	Cabinetry Hardware	6	LF	448.00	/LF	2,688
06-0681	Timber Framing - Labor	875	LF	10	/LF	8,750
06-0685	Timber Framing - Material	205	BF	8	/BF	1,568
	CARPENTRY		GSF		/GSF	371,546
07-00	THERMAL & MOISTURE	Quantity	UOM	Cost/Unit	UOM	Total
07-0700	Dampproofing	1,770	SF	4.50	/SF	7,965
07-0710	Exterior Vapor Barrier	3,621	SF	0.75	/SF	2,716
07-0711	Rain Screen	3,621	SF	25.00	/SF	90,525
07-0720	Insulation	3,500	GSF	4.50	/GSF	15,750
07-0721	Air Sealing	3,168	GSF	2.00	/GSF	6,336
07-0725	Exterior Continious Insulation	3,168	SF	4.00	/SF	12,672

07-0730	Roofing	2,000 SF		30.00 /SF		60,000
07-0731	Roof Vents / Cupola / Finial	45 SF		777.78 /SF		3,500
07-0735	Metal Siding	1,600 SF		30.00 /SF		48,000
07-0740	Metal Flashing/Reglets	300 LF		25.00 /LF		7,500
07-0760	Gutters & Downspouts	150 LF		8.00 /LF		1,200
07-0761	Snow Retention	100 LF		15.00 /LF		2,250
07-0770	Fascia - Labor	105 LF		21.00 /LF		2,205
07-0771	Fascia - Material	105 LF		19.57 /LF		2,055
07-0772	Soffit - Labor	380 SF		15.00 /SF		5,700
07-0773	Soffit - Material	380 SF		22.00 /SF		8,360
THERMAL & MOISTURE			GSF		/GSF	276,734
08-00	DOORS & WINDOWS	Quantity	UOM	Cost/Unit	UOM	Total
08-0805	Interior Doors	15 EA		800.00 /EA		12,000
08-0806	Door and Hardware - Install	20 EA		100.00 /EA		2,000
08-0810	Exterior Doors	5 EA		3,000.00 /EA		15,000
08-0815	Entry Door Systems	2 EA		300.00 /EA		600
08-0820	Door Hardware	20 EA		100.00 /EA		2,000
08-0825	Specialty Hardware	5 EA		200.00 /EA		1,000
08-0830	Garage Doors	1 EA		5238 /EA		5,238
08-0840	Windows	12 SF		2,000.00 /SF		24,000
08-0843	Specialty Windows/Doors	30 SF		2,500.00 /SF		75,000
08-0845	Window Install	12 EA		100.00 /EA		1,200
08-0846	Window Flashings	240 LF		3.00 /LF		720
08-0860	Mirrors	28 SF		25.00 /SF		700
08-0870	Shower Doors	15 SF		390.00 /SF		5,850
DOORS & WINDOWS			GSF		/GSF	145,308
09-00	INTERIOR FINISHES	Quantity	UOM	Cost/Unit	UOM	Total
09-0920	Drywall	7,200 GSF		4.00 /GSF		28,800
09-0925	Specialty Drywall/Plaster	250 SF		10.00 /SF		2,500
09-0930	Tile Labor	420 SF		25.00 /SF		10,500
09-0931	Tile Material	420 SF		50.00 /SF		21,000
09-0938	Slab Tops	75 SF		210.00 /SF		15,750
09-0940	Hardwood Flooring	822 SF		25.00 /SF		20,550
09-0950	Carpet	290 SF		15.00 /SF		4,350
09-0957	Garage Coatings	358 SF		12.17 /SF		4,357
09-0960	Wall Coverings	354 SF		12 /SF		4,248
09-0970	Interior Paint/Stain	7,200 GSF		0.60 /GSF		4,320
09-0975	Exterior Paint/Stain	1,200 GSF		2.75 /GSF		3,300

<i>INTERIOR FINISHES</i>		<i>GSF</i>	<i>/GSF</i>	<i>119,675</i>		
10-00	<i>SPECIALTIES</i>	Quantity	UOM	Cost/Unit	UOM	Total
10-1010	Sealed Combustion Fireplaces	1	EA	6,000.00	/EA	6,000
10-1013	Mantels/Surround	2	EA	250.00	/EA	500
10-1014	Hearths	1	EA	2,500.00	/EA	2,500
10-1015	Chimney Caps	1	EA	300.00	/EA	300
10-1030	Toilet/Bath Hardware	4	BA	1,000.00	/BA	4,000
10-1040	Master Closet Systems	27	LF	45.00	/LF	1,215
10-1045	Other Closet Systems	4	EA	250.00	/EA	1,000
10-1046	Garage Cabs/Storage	3	LF	50.00	/LF	150
<i>SPECIALTIES</i>		<i>GSF</i>	<i>/GSF</i>	<i>15,665</i>		
11-00	<i>EQUIPMENT</i>	Quantity	UOM	Cost/Unit	UOM	Total
11-1120	Appliances	8	EA	12,000.00	/EA	96,000
11-1122	Custom Hoods	1	EA	619.00	/EA	619
11-1125	Outdoor Appliances	4	EA	6,916.75	/EA	27,667
<i>EQUIPMENT</i>		<i>GSF</i>	<i>/GSF</i>	<i>124,286</i>		
12-00	<i>FURNISHINGS</i>	Quantity	UOM	Cost/Unit	UOM	Total
12-1210	Furniture	---	EA	---	/EA	50000
<i>FURNISHINGS</i>						<i>50,000</i>
13-00	<i>SPECIAL CONSTRUCTION</i>	Quantity	UOM	Cost/Unit	UOM	Total
13-1345	Spas	22,500	EA	1	/EA	22,500
<i>SPECIAL CONSTRUCTION</i>						<i>22,500</i>
15-00	<i>MECHANICAL WORK</i>	Quantity	UOM	Cost/Unit	UOM	Total
15-1510	Plumbing Systems	1	EA	35,000.00	/EA	35,000
15-1511	Plumbing Fixtures	1	EA	70,000.00	/EA	70,000
15-1512	Specialty Plumbing Fixtures	---	EA	---	/EA	40,000
15-1514	Radiant Heat Prep	2,193	SF	20.00	/SF	43,860
15-1515	Radiant/Hydronic Heat Systems	2,193	SF	30.00	/SF	65,790
15-1516	Snow Melt Prep	420	SF	15.00	/SF	6,300
15-1517	Snow Melt System	420	SF	20.00	/SF	8,400
15-1525	Water Treatment Systems	1	EA	5,000.00	/EA	5,000
15-1530	HVAC System & Controls	2,789	GSF	8.00	/GSF	22,312
15-1535	HVAC Peripherals	---	---	---	---	10,000
15-1550	Fire Sprinklers	2,789	GSF	2.00	/GSF	5,578
<i>MECHANICAL WORK</i>		<i>GSF</i>	<i>/GSF</i>	<i>312,240</i>		
16-00	<i>ELECTRICAL</i>	Quantity	UOM	Cost/Unit	UOM	Total
16-1610	Electrical System	2,789	GSF	15.00	/GSF	41,835
16-1611	Structural Lighting Package (cans)	75	FSF	125.00	/FSF	9,375

16-1612	Specialty Electrical Fixtures	75 FSF	245 /FSF	18,375
16-1613	Decorative Electrical Fixtures	10 FSF	500.00 /FSF	5,000
16-1614	Heat Trace/Cables/Mats	1,005 LF	3.00 /LF	3,015
16-1615	Sustainable Energy Source/Storage	1 LS	6,000.00 /LS	6,000
16-1620	Lighting System	13 LS	4,000.00 /LS	52,000
16-1625	Emergency Power System	1 EA	10000 /EA	10,000
16-1630	Structured Wiring	2,789 FSF	4.00 /FSF	11,156
16-1635	Distributed A/V Systems	1 EA	7,000.00 /EA	7,000
16-1640	Security Systems	1 FSF	1,000.00 /FSF	1,000
16-1645	Motorized Shades	9 EA	160.00 /EA	1,440
<i>ELECTRICAL</i>		<i>GSF</i>	<i>/GSF</i>	<i>166,196</i>

Total

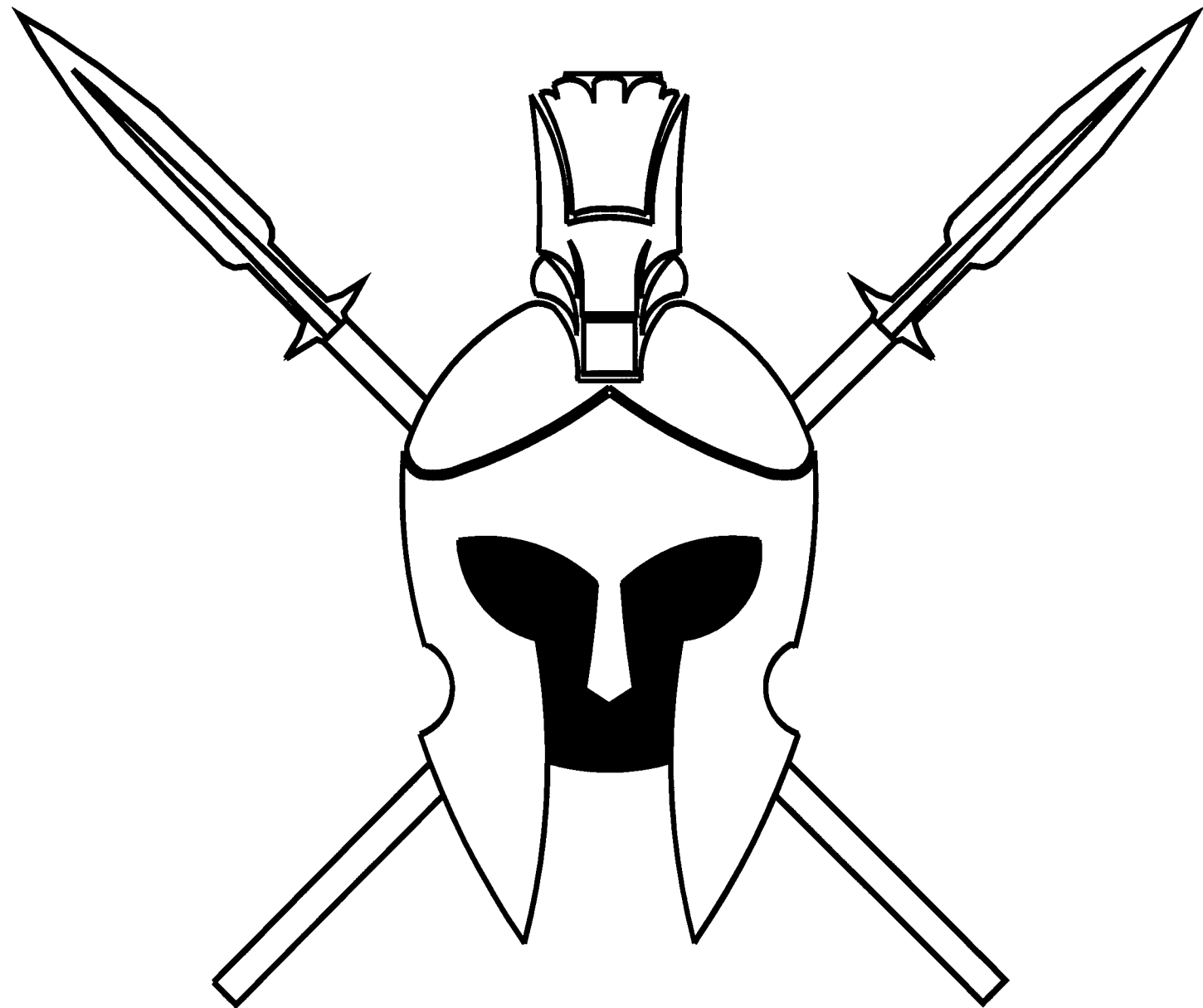
2,031,909

<i>17-00</i>	<i>PERCENTAGE COSTS</i>	<i>Cost Before</i>	<i>UOM</i>	<i>Percentage</i>	<i>UOM</i>	<i>Total</i>
17-1710	Profit Margin	2,031,909	GPM	20%	/GPM	406,382
17-1711	Overhead	2,031,909	GPM	10%	/GPM	203,191
17-1712	Real Estate Commission	2,031,909	GPM	6%	/GPM	121,915
17-1713	Transfer Tax	2,031,909	GPM	1%	/GPM	20,319
<i>PERCENTAGE COSTS</i>			<i>GSF</i>		<i>/GSF</i>	<i>751,806</i>

Final

2,783,715

Construction Schedule



York County School
of Technology

NAHB Construction Schedule

York County School of Technology

The process of producing the construction schedule for this year was easier than the project last year. This is because the area that the house was being built in was closer to the area that we are used to. However, this area still posed new challenges because of it not being exactly like what we are used to.

The schedule for this year's project had many challenges. These included having to learn the correct sequence for building a home specific to this location, learn all the required inspections and when they happen, and what a reasonable duration is for a task, along with this we had to learn how to format this information into a cohesive, concise, and easy to follow format.

To help us in developing the schedule we contacted Park City and got a list of all the required inspections that take place during new construction. We also consulted with local workers about what a reasonable period for a project would be. We researched many different methods and templates for making a construction schedule. We settled on using a spreadsheet to make the schedule because it is easy to pick up and use while still turning out a finished product that can be understood by others looking at it.

Scheduling can vary from person to person, so finding the right medium in how long the construction should take can be challenging. There is a big margin, however since this house is on the more complicated side, it will be on the longer side of normal construction time. Concerning our estimate, the number of workers we have can make the amount of time change drastically.

Overall, the schedule was a difficult but rewarding aspect of the project. We had to research the information and think of solutions to the obstacles that arose. We had to learn what the unique features of the area we were building were and how they affected the construction process. In the end, we believe we have produced a finished schedule that is reasonable, cohesive, easy to follow, and correct.

CONSTRUCTION SCHEDULE FOR CABIN TYPE "B"

YORK COUNTY SCHOOL OF TECHNOLOGY 2024 ARCHITECTURE TRACK
 2179 SOUTH QUEEN STREET, YORK, PA 17402 (717)-742-0820

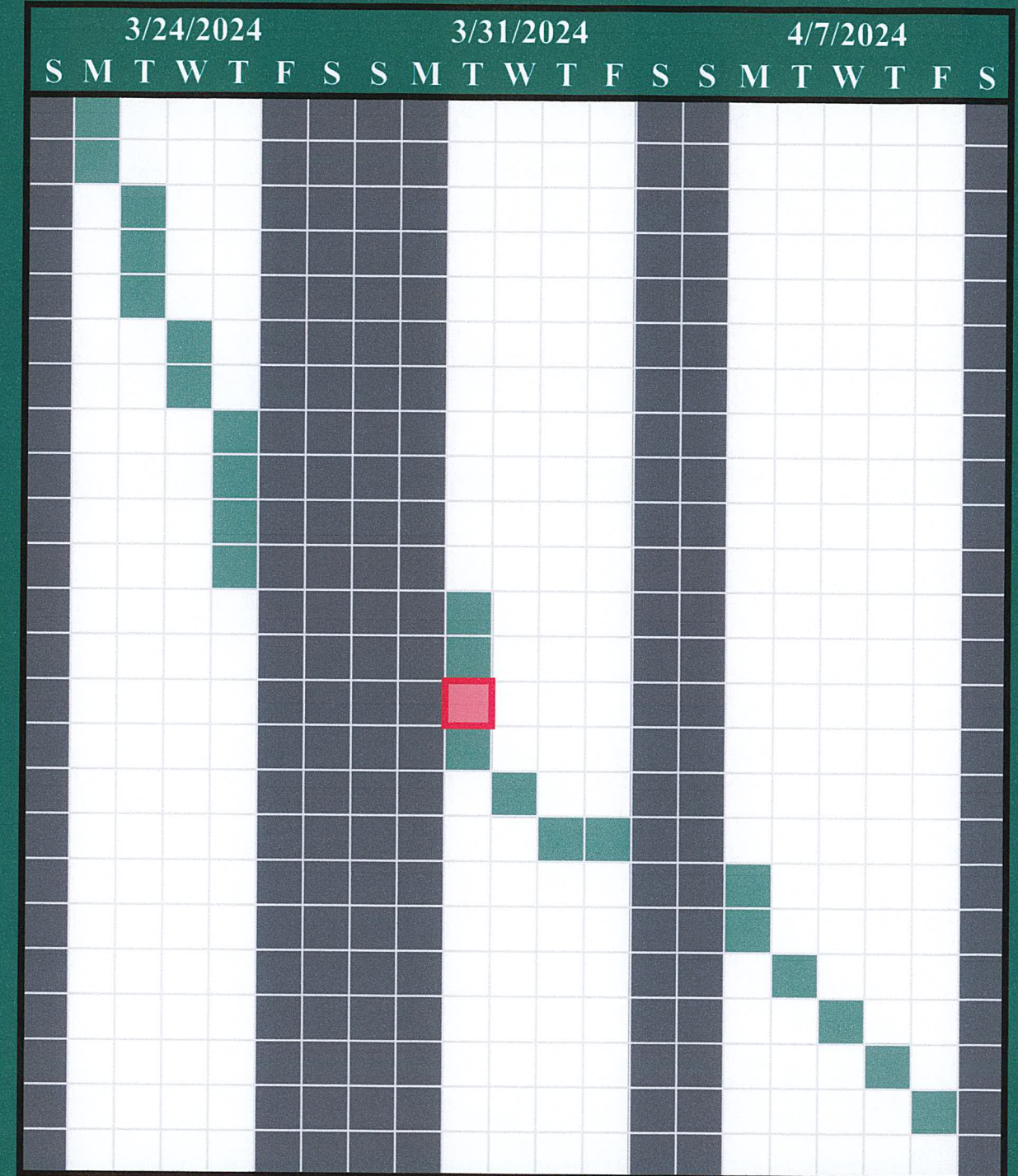


Project Name: NAHB 2024 - VELVEARE CABIN B
 Location: 10226 N LIV PL, Park City, Utah

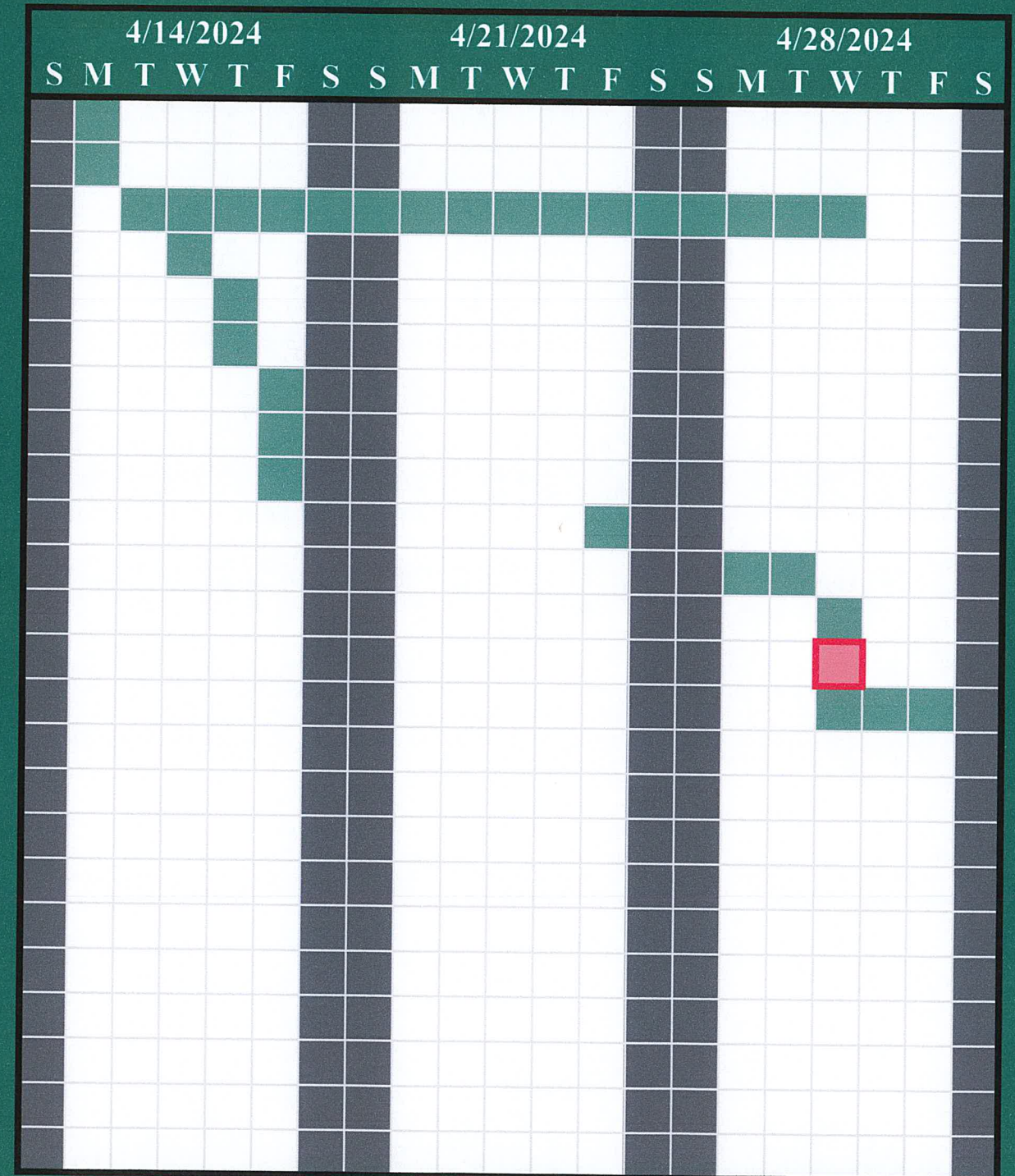
Made by: MATTHEW KELLER
 Checked by: DONOVAN WALKER

Date: 9/12/23
 Date: 11/10/23

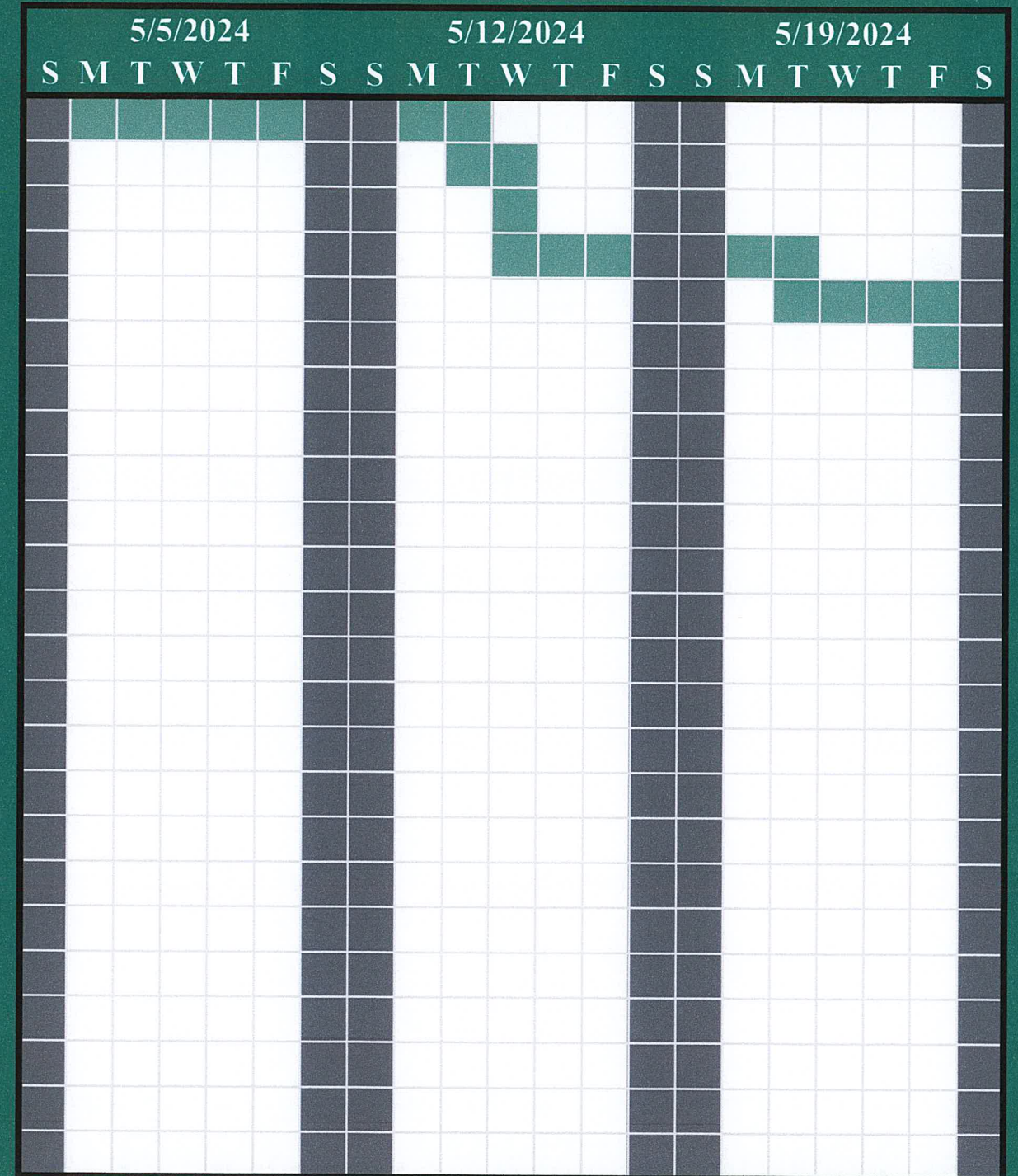
#	Job Name	Start	Finish	Duration (Days)	% Completed
1	Building Permits Received	3/25/2024	3/25/2024	1	-
2	Pre Construction Meeting	3/25/2024	3/25/2024	1	-
3	Call To Locate Utility Lines	3/26/2024	3/26/2024	1	-
4	Schedule Lot Staking	3/26/2024	3/26/2024	1	-
5	Schedule Lot Excavation	3/26/2024	3/26/2024	1	-
6	Order Truss Package	3/27/2024	3/27/2024	1	-
7	Schedule Concrete Placement	3/27/2024	3/27/2024	1	-
8	Schedule And Order Lumber	3/27/2024	3/27/2024	1	-
9	Order Doors and Windows	3/28/2024	3/28/2024	1	-
10	Order On-site Restroom	3/28/2024	3/28/2024	1	-
11	Schedule On-site Dumpster	3/28/2024	3/28/2024	1	-
12	Deliver On-site Restroom	4/2/2024	4/2/2024	1	-
13	Deliver On-site Dumpster	4/2/2024	4/2/2024	1	-
<i>Construction Begins 4/2/2024</i>					
14	Temporary Electric	4/2/2024	4/2/2024	1	-
15	Staking And Silt Fencing Installation	4/3/2024	4/3/2024	1	-
16	Excavation	4/4/2024	4/5/2024	2	-
17	Install Forms	4/8/2024	4/8/2024	1	-
18	Lay Vapor Retarder	4/8/2024	4/8/2024	1	-
19	Sub Slab Plumbing Rough In	4/9/2024	4/9/2024	1	-
20	Sub Slab Insulation	4/10/2024	4/10/2024	1	-
21	Sub Slab Inspection	4/11/2024	4/11/2024	1	-
22	Lay Stone	4/12/2024	4/12/2024	1	-
23	Pour Concrete	4/15/2024	4/15/2024	1	-



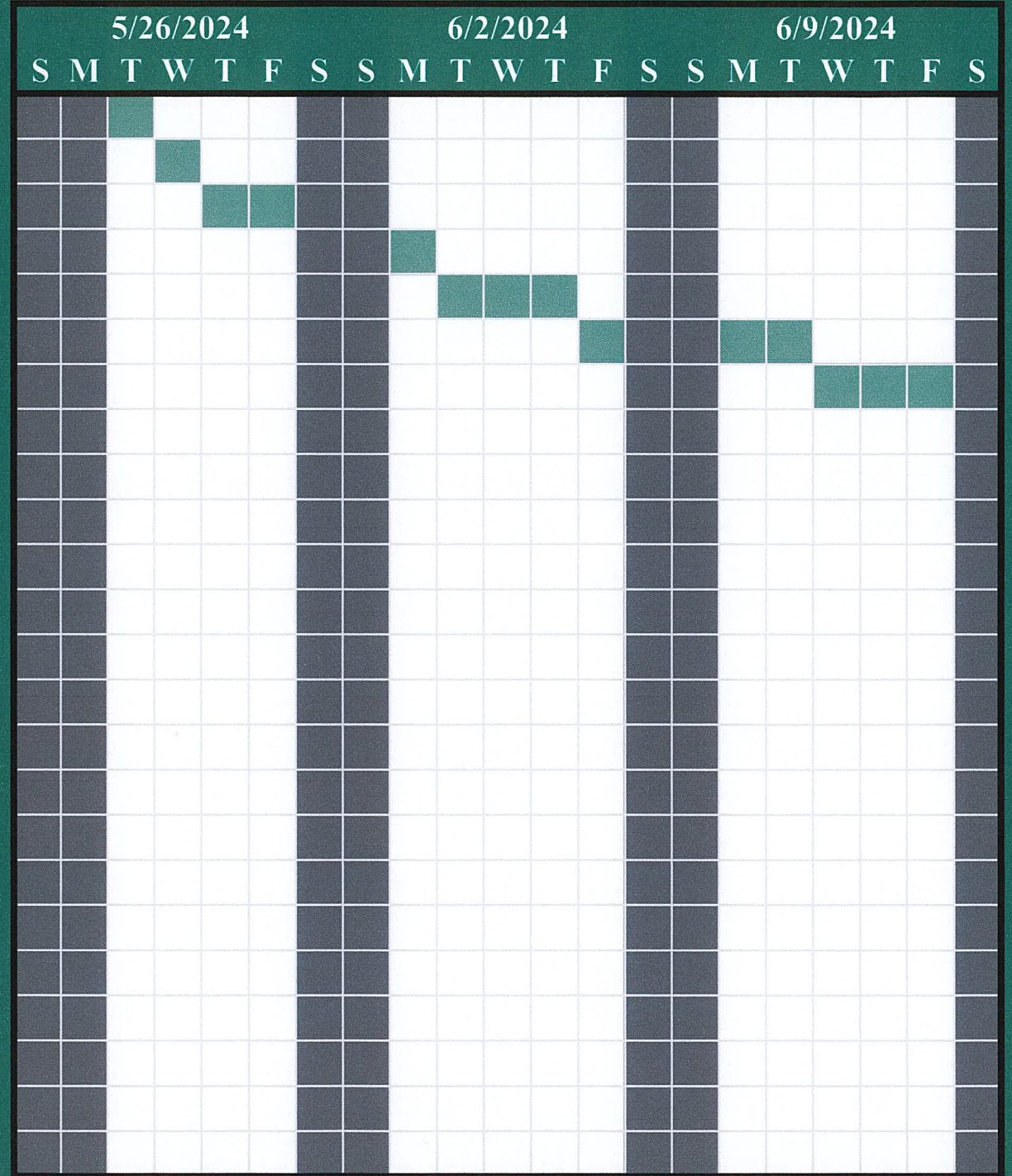
#	Job Name	Start	Finish	Duration (Days)	% Completed
23	Pour Concrete	4/15/2024	4/15/2024	1	-
24	Set Anchor Bolts	4/15/2024	4/15/2024	1	-
25	Cure Concrete	4/16/2024	5/1/2024	16	-
26	Strip Forms And Back Fill	4/17/2024	4/17/2024	1	-
27	Schedule Roofing	4/18/2024	4/18/2024	1	-
28	Schedule Plumbing Rough In	4/18/2024	4/18/2024	1	-
29	Schedule Electrical Rough In	4/19/2023	4/19/2023	1	-
30	Schedule Delivery Of Doors	4/19/2023	4/19/2023	1	-
31	Schedule Delivery of Windows	4/19/2023	4/19/2023	1	-
32	Pretreat Soil For Termites	4/26/2024	4/26/2024	1	-
33	Excavate For Exterior Work	4/29/2024	4/30/2024	2	-
34	Delivery Of Systems	5/1/2024	5/1/2024	1	-
<i>Framing Begins 5/2/2024</i>					
35	Exterior Framing	5/1/2024	5/14/2024	10	-
36	Install Support Beams	5/14/2024	5/15/2024	2	-
37	Deliver And Install Tub	5/15/2024	5/15/2024	1	-
38	Interior Wall Partitions	5/15/2024	5/21/2023	5	-
39	Deliver And Install Roof Trusses	5/21/2024	5/24/2023	4	-
40	Install Roof Sheathing	5/24/2023	5/28/2024	2	-
41	Roof Sheathing Inspection	5/29/2024	5/29/2024	1	-
42	Install All Flashing	5/30/2024	5/31/2024	2	-
43	Flashing Inspection	6/3/2024	6/3/2024	1	-
44	Install Felt Paper	6/4/2024	6/6/2024	3	-
45	Install Batten Strips	6/7/2024	6/11/2024	3	-



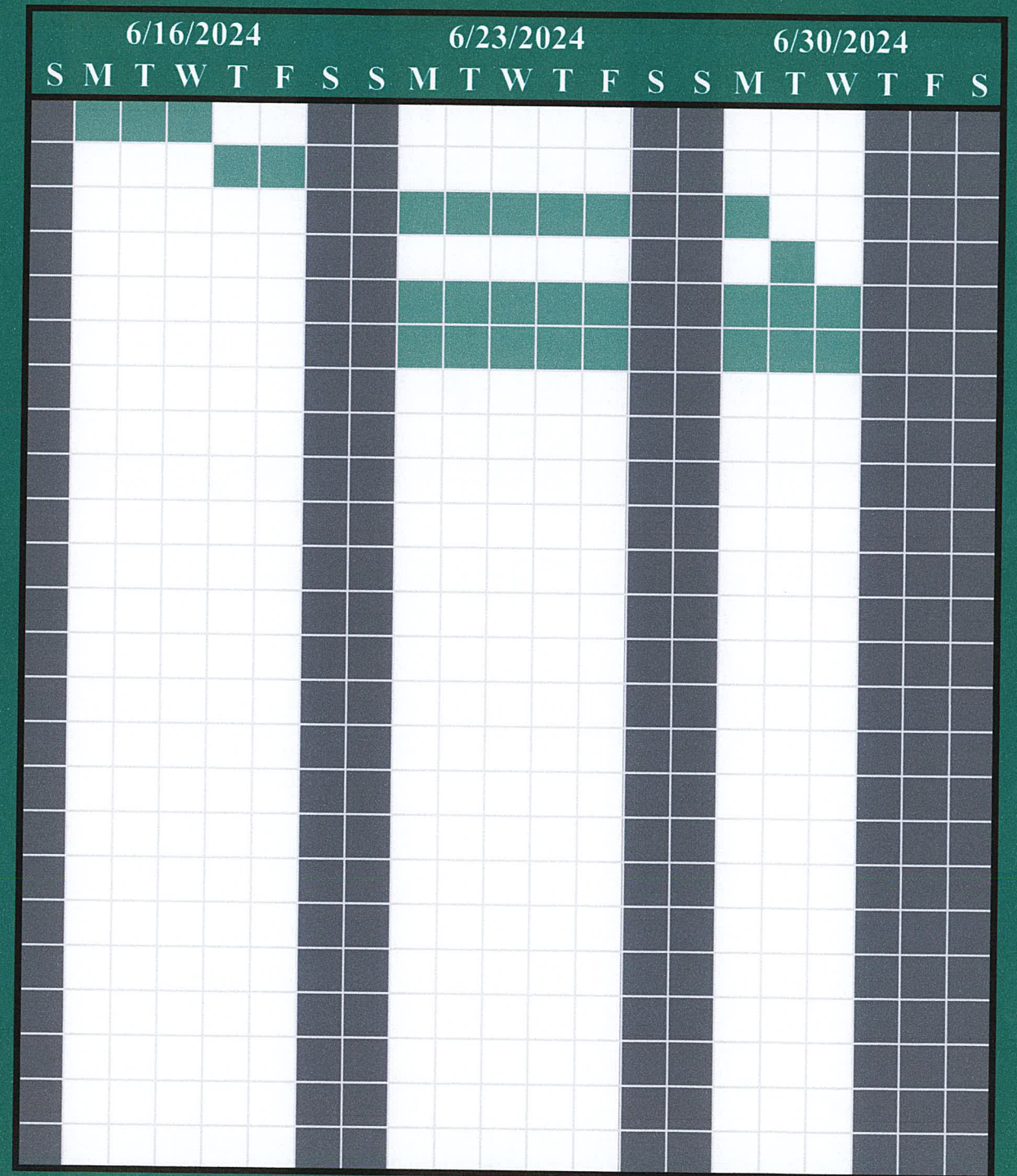
#	Job Name	Start	Finish	Duration (Days)	% Completed
35	Exterior Framing	5/1/2024	5/14/2024	10	-
36	Install Support Beams	5/14/2024	5/15/2024	2	-
37	Deliver And Install Tub	5/15/2024	5/15/2024	1	-
38	Interior Wall Partitions	5/15/2024	5/21/2024	5	-
39	Deliver And Install Roof Trusses	5/21/2024	5/24/2024	4	-
40	Install Roof Sheathing	5/24/2024	5/28/2024	2	-
41	Roof Sheathing Inspection	5/29/2024	5/29/2024	1	-
42	Install All Flashing	5/30/2024	5/31/2024	2	-
43	Flashing Inspection	6/3/2024	6/3/2024	1	-
44	Install Felt Paper	6/4/2024	6/6/2024	3	-
45	Install Batten Strips	6/7/2024	6/11/2024	3	-
46	Install Roofing	6/12/2024	6/19/2024	6	-
47	Fire Caulk For Penetration	6/20/2024	6/21/2024	2	-
48	Plumbing Rough-In	6/24/2024	7/15/2024	14	-
49	Plumbing Inspection	7/16/2024	7/16/2024	1	-
50	HVAC Rough-In	6/24/2024	7/1/2024	6	-
51	HVAC Inspection	7/2/2024	7/2/2024	1	-
52	Electrical Rough-In	6/24/2024	7/23/2024	20	-
53	Electrical Inspection	7/24/2024	7/24/2024	1	-
54	Framing Inspection	7/25/2024	7/25/2024	1	-
55	Wrap House	7/26/2024	7/29/2024	2	-
56	Roof Framing Inspection	7/30/2024	7/30/2024	1	-
<i>Framing Complete 7/30/2024</i>					
57	Deliver and Install Windows	7/31/2024	8/1/2024	2	-



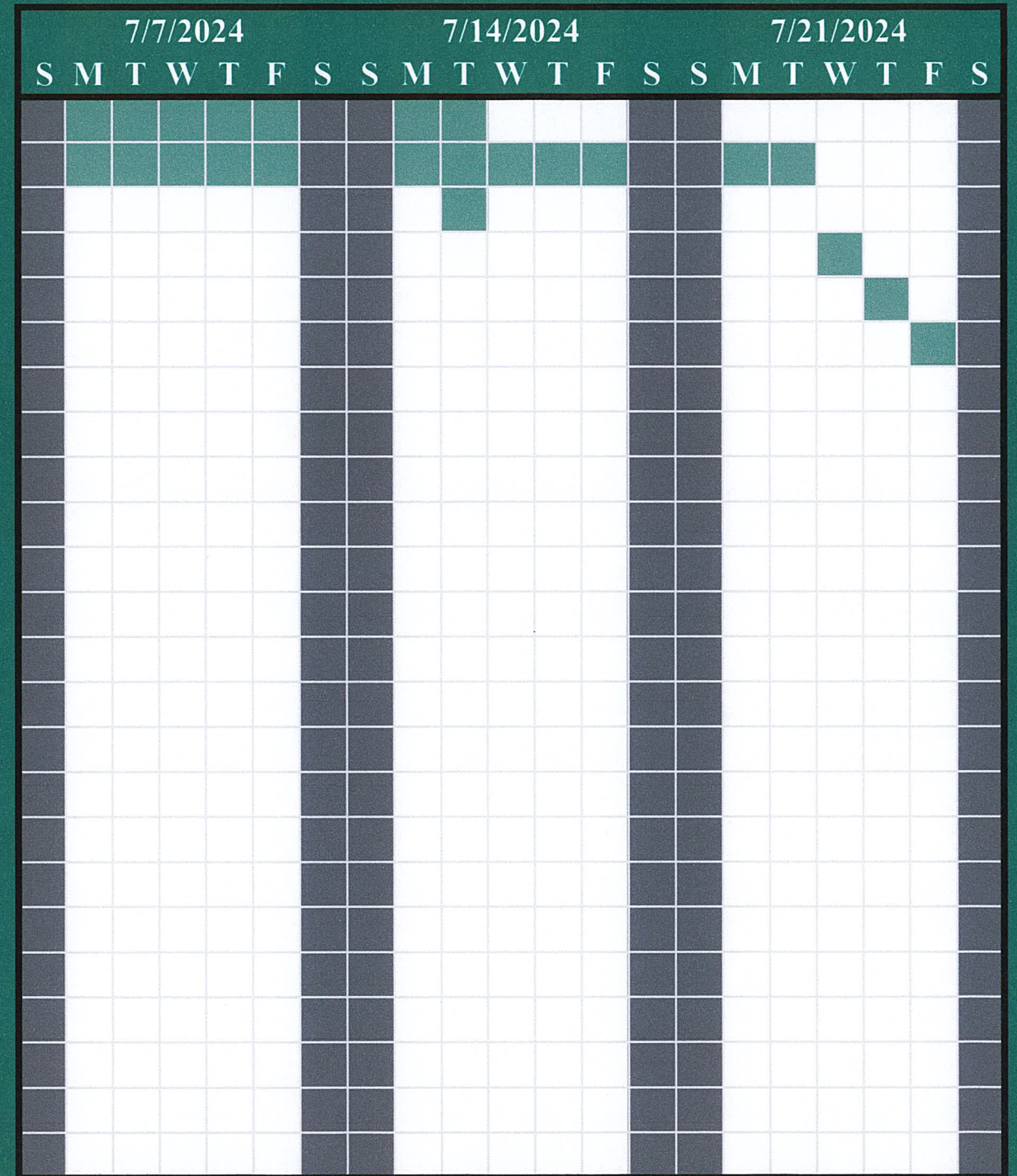
#	Job Name	Start	Finish	Duration (Days)	% Completed
40	Install Roof Sheathing	5/24/2024	5/28/2024	2	-
41	Roof Sheathing Inspection	5/29/2024	5/29/2024	1	-
42	Install All Flashing	5/30/2024	5/31/2024	2	-
43	Flashing Inspection	6/3/2024	6/3/2024	1	-
44	Install Felt Paper	6/4/2024	6/6/2024	3	-
45	Install Batten Strips	6/7/2024	6/11/2024	3	-
46	Install Roofing	6/12/2024	6/19/2024	6	-
47	Fire Caulk For Penetration	6/20/2024	6/21/2024	2	-
48	Plumbing Rough-In	6/24/2024	7/15/2024	14	-
49	Plumbing Inspection	7/16/2024	7/16/2024	1	-
50	HVAC Rough-In	6/24/2024	7/1/2024	6	-
51	HVAC Inspection	7/2/2024	7/2/2024	1	-
52	Electrical Rough-In	6/24/2024	7/23/2024	20	-
53	Electrical Inspection	7/24/2024	7/24/2024	1	-
54	Framing Inspection	7/25/2024	7/25/2024	1	-
55	Wrap House	7/26/2024	7/29/2024	2	-
56	Roof Framing Inspection	7/30/2024	7/30/2024	1	-
<i>Framing Complete 7/30/2024</i>					
57	Deliver and Install Windows	7/31/2024	8/1/2024	2	-
58	Schedule Insulation	8/1/2024	8/1/2024	1	-
59	Deliver/Hang/Finish Drywall	8/2/2024	8/13/2024	8	-
60	Install Kitchen and Bath Cabinets	8/13/2024	8/16/2024	4	-
61	Rough Clean	8/19/2024	8/20/2024	2	-
62	Install Underlayment/Flooring	8/21/2024	8/23/2024	3	-



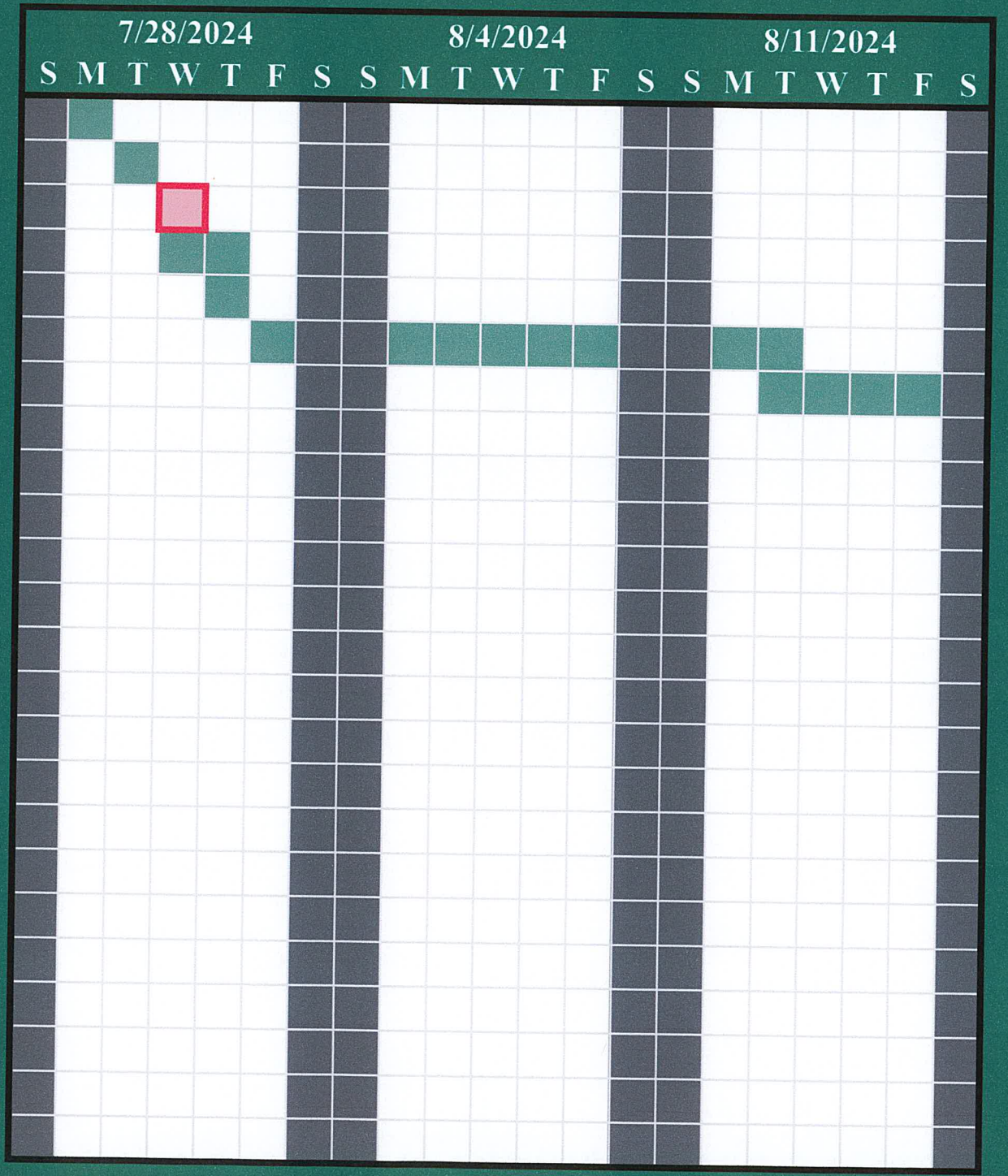
#	Job Name	Start	Finish	Duration (Days)	% Completed
46	Install Roofing	6/12/2024	6/19/2024	6	-
47	Fire Caulk For Penetration	6/20/2024	6/21/2024	2	-
48	HVAC Rough-In	6/24/2024	7/1/2024	6	-
49	HVAC Inspection	7/2/2024	7/2/2024	1	-
50	Plumbing Rough-In	6/24/2024	7/15/2024	14	-
51	Electrical Rough-In	6/24/2024	7/23/2024	20	-
52	Plumbing Inspection	7/16/2024	7/16/2024	1	-
53	Electrical Inspection	7/24/2024	7/24/2024	1	-
54	Framing Inspection	7/25/2024	7/25/2024	1	-
55	Wrap House	7/26/2024	7/29/2024	2	-
56	Roof Framing Inspection	7/30/2024	7/30/2024	1	-
<i>Framing Complete 7/30/2024</i>					
57	Deliver and Install Windows	7/31/2024	8/1/2024	2	-
58	Schedule Insulation	8/1/2024	8/1/2024	1	-
59	Deliver/Hang/Finish Drywall	8/2/2024	8/13/2024	8	-
60	Install Kitchen and Bath Cabinets	8/13/2024	8/16/2024	4	-
61	Rough Clean	8/19/2024	8/20/2024	2	-
62	Install Underlayment/Flooring	8/21/2024	8/23/2024	3	-
63	Schedule Plumbing Finish	8/26/2024	8/26/2024	1	-
64	Schedule HVAC Finish	8/26/2024	8/26/2024	1	-
65	Driveway and Walkway Concrete	8/26/2024	8/29/2024	4	-
66	Schedule Mirror/Shelving Fixture	8/27/2024	8/27/2024	1	-
67	Schedule Appliances	8/27/2024	8/27/2024	1	-
68	Schedule Water/Sewer Activation	8/27/2024	8/27/2024	1	-



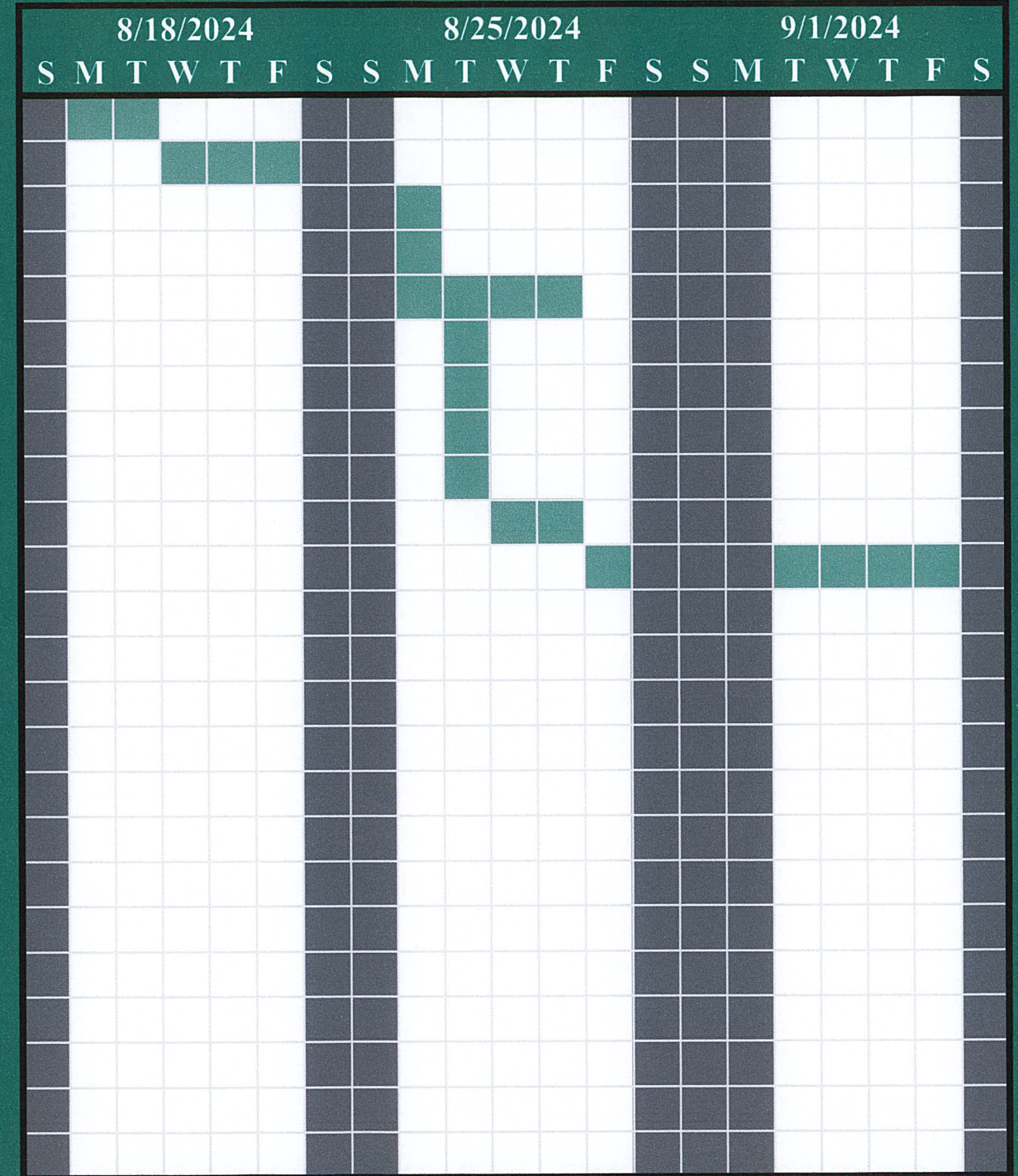
#	Job Name	Start	Finish	Duration (Days)	% Completed
50	Plumbing Rough-In	6/24/2024	7/15/2024	14	-
51	Electrical Rough-In	6/24/2024	7/23/2024	20	-
52	Plumbing Inspection	7/16/2024	7/16/2024	1	-
53	Electrical Inspection	7/24/2024	7/24/2024	1	-
54	Framing Inspection	7/25/2024	7/25/2024	1	-
55	Wrap House	7/26/2024	7/29/2024	2	-
56	Roof Framing Inspection	7/30/2024	7/30/2024	1	-
<i>Framing Complete 7/30/2024</i>					
57	Deliver and Install Windows	7/31/2024	8/1/2024	2	-
58	Schedule Insulation	8/1/2024	8/1/2024	1	-
59	Deliver/Hang/Finish Drywall	8/2/2024	8/13/2024	8	-
60	Install Kitchen and Bath Cabinets	8/13/2024	8/16/2024	4	-
61	Rough Clean	8/19/2024	8/20/2024	2	-
62	Install Underlayment/Flooring	8/21/2024	8/23/2024	3	-
63	Schedule Plumbing Finish	8/26/2024	8/26/2024	1	-
64	Schedule HVAC Finish	8/26/2024	8/26/2024	1	-
65	Driveway and Walkway Concrete	8/26/2024	8/29/2024	4	-
66	Schedule Mirror/Shelving Fixture	8/27/2024	8/27/2024	1	-
67	Schedule Appliances	8/27/2024	8/27/2024	1	-
68	Schedule Water/Sewer Activation	8/27/2024	8/27/2024	1	-
69	Install Weather Stripping	8/27/2024	8/27/2024	1	-
70	Rough Clean	8/27/2024	8/29/2024	2	-
71	Interior Painting	8/30/2024	9/6/2024	5	-
72	HVAC Finish	9/9/2024	9/11/2024	2	-



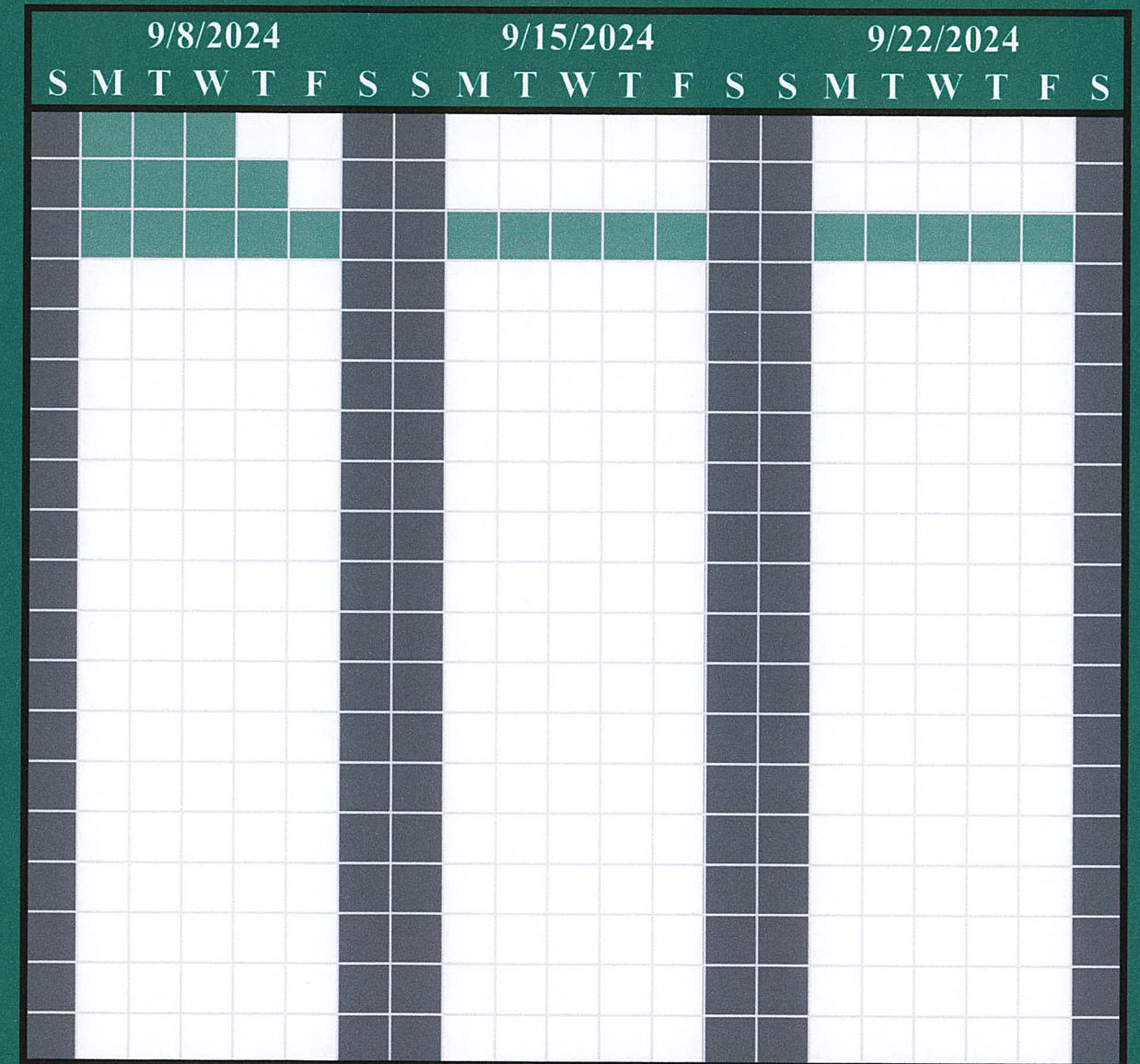
#	Job Name	Start	Finish	Duration (Days)	% Completed
55	Wrap House	7/26/2024	7/29/2024	2	-
56	Roof Framing Inspection	7/30/2024	7/30/2024	1	-
<i>Framing Complete 7/30/2024</i>					
57	Deliver and Install Windows	7/31/2024	8/1/2024	2	-
58	Schedule Insulation	8/1/2024	8/1/2024	1	-
59	Deliver/Hang/Finish Drywall	8/2/2024	8/13/2024	8	-
60	Install Kitchen and Bath Cabinets	8/13/2024	8/16/2024	4	-
61	Rough Clean	8/19/2024	8/20/2024	2	-
62	Install Underlayment/Flooring	8/21/2024	8/23/2024	3	-
63	Schedule Plumbing Finish	8/26/2024	8/26/2024	1	-
64	Schedule HVAC Finish	8/26/2024	8/26/2024	1	-
65	Driveway and Walkway Concrete	8/26/2024	8/29/2024	4	-
66	Schedule Mirror/Shelving Fixture	8/27/2024	8/27/2024	1	-
67	Schedule Appliances	8/27/2024	8/27/2024	1	-
68	Schedule Water/Sewer Activation	8/27/2024	8/27/2024	1	-
69	Install Weather Stripping	8/27/2024	8/27/2024	1	-
70	Rough Clean	8/27/2024	8/29/2024	2	-
71	Interior Painting	8/30/2024	9/6/2024	5	-
72	HVAC Finish	9/9/2024	9/11/2024	2	-
73	Electrical Finish	9/9/2024	10/3/2024	18	-
74	Plumbing Finish/Water Meter	9/9/2024	9/12/2024	4	-
75	Install Shower Marble	10/3/2024	10/4/2024	2	-
76	Install Closet Rod and Shower Bar	10/7/2024	10/8/2024	2	-
77	Finish Floor	10/9/2024	10/11/2024	3	-



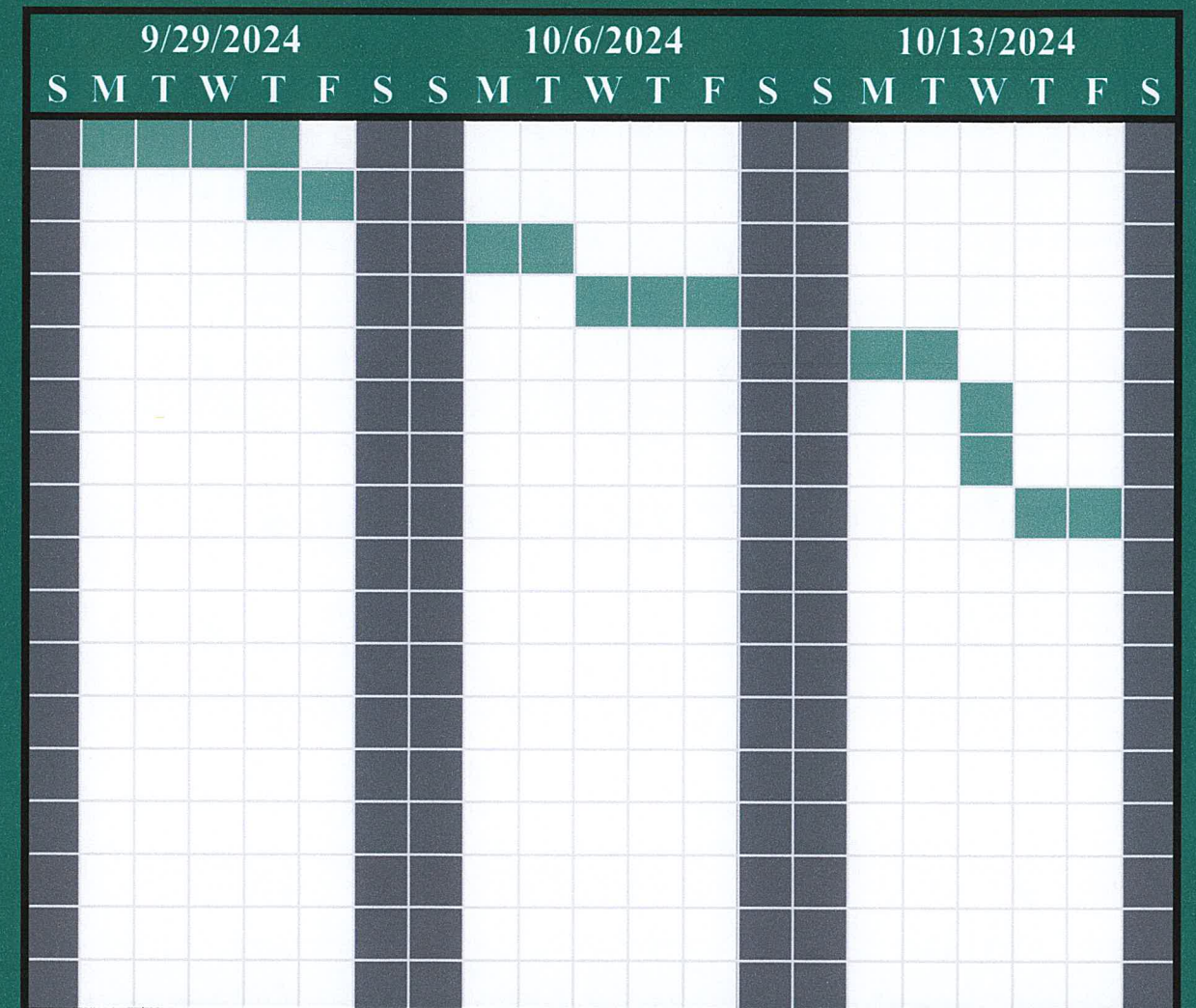
#	Job Name	Start	Finish	Duration (Days)	% Completed
61	Rough Clean	8/19/2024	8/20/2024	2	-
62	Install Underlayment/Flooring	8/21/2024	8/23/2024	3	-
63	Schedule Plumbing Finish	8/26/2024	8/26/2024	1	-
64	Schedule HVAC Finish	8/26/2024	8/26/2024	1	-
65	Driveway and Walkway Concrete	8/26/2024	8/29/2024	4	-
66	Schedule Mirror/Shelving Fixture	8/27/2024	8/27/2024	1	-
67	Schedule Appliances	8/27/2024	8/27/2024	1	-
68	Schedule Water/Sewer Activation	8/27/2024	8/27/2024	1	-
69	Install Weather Stripping	8/27/2024	8/27/2024	1	-
70	Rough Clean	8/28/2024	8/29/2024	2	-
71	Interior Painting	8/30/2024	9/6/2024	5	-
72	HVAC Finish	9/9/2024	9/11/2024	2	-
73	Electrical Finish	9/9/2024	10/3/2024	18	-
74	Plumbing Finish/Water Meter	9/9/2024	9/12/2024	4	-
75	Install Shower Marble	10/3/2024	10/4/2024	2	-
76	Install Closet Rod and Shower Bar	10/7/2024	10/8/2024	2	-
77	Finish Floor	10/9/2024	10/11/2024	3	-
78	Install Carpet/Padding	10/14/2024	10/15/2024	2	-
79	Yard Rake	10/16/2024	10/16/2024	1	-
80	Plant Trees/Shrubs/Toss Seeding	10/16/2024	10/16/2024	1	-
81	Install Shelving/Mirrors	10/17/2024	10/18/2024	2	-
82	Install Appliances	10/21/2024	10/22/2024	2	-
83	Install Garage Door	10/22/2024	10/22/2024	1	-
84	Final Trim Out	10/23/2024	10/23/2024	1	-



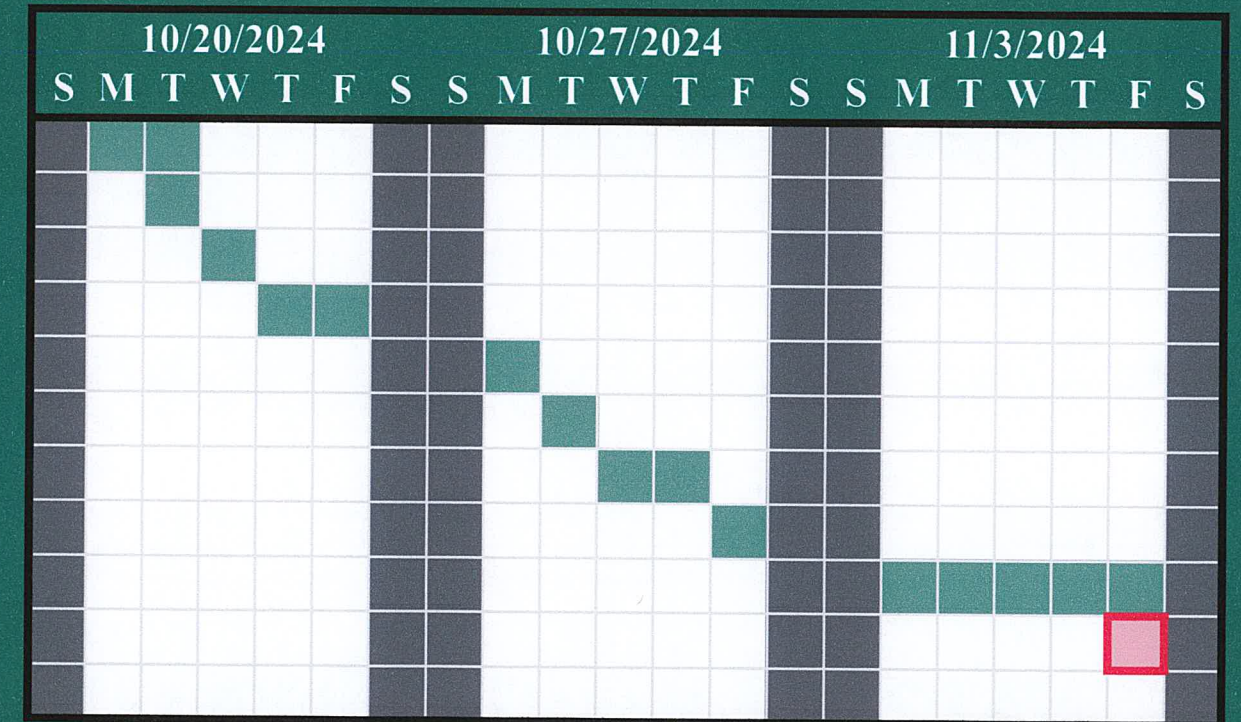
#	Job Name	Start	Finish	Duration (Days)	% Completed
72	HVAC Finish	9/9/2024	9/11/2024	3	-
73	Plumbing Finish/Water Meter	9/9/2024	9/12/2024	4	-
74	Electrical Finish	9/9/2024	10/3/2024	18	-
75	Install Shower Marble	10/3/2024	10/4/2024	2	-
76	Install Closet Rod and Shower Bar	10/7/2024	10/8/2024	2	-
77	Finish Floor	10/9/2024	10/11/2024	3	-
78	Install Carpet/Padding	10/14/2024	10/15/2024	2	-
79	Yard Rake	10/16/2024	10/16/2024	1	-
80	Plant Trees/Shrubs/Toss Seeding	10/16/2024	10/16/2024	1	-
81	Install Shelving/Mirrors	10/17/2024	10/18/2024	2	-
82	Install Appliances	10/21/2024	10/22/2024	2	-
83	Install Garage Door	10/22/2024	10/22/2024	1	-
84	Final Trim Out	10/23/2024	10/23/2024	1	-
85	Final Paint	10/24/2024	10/25/2024	2	-
86	Key Alike All Entry Doors	10/28/2024	10/28/2024	1	-
87	Bathroom Finishes	10/29/2024	10/29/2024	1	-
88	Final Clean	10/30/2024	10/31/2024	2	-
89	Final Walkthrough	11/1/2024	11/1/2024	1	-
90	Bad Weather Days	11/4/2024	11/8/2024	5	-



#	Job Name	Start	Finish	Duration (Days)	% Completed
74	Electrical Finish	9/9/2024	10/3/2024	18	-
75	Install Shower Marble	10/3/2024	10/4/2024	2	-
76	Install Closet Rod and Shower Bar	10/7/2024	10/8/2024	2	-
77	Finish Floor	10/9/2024	10/11/2024	3	-
78	Install Carpet/Padding	10/14/2024	10/15/2024	2	-
79	Yard Rake	10/16/2024	10/16/2024	1	-
80	Plant Trees/Shrubs/Toss Seeding	10/16/2024	10/16/2024	1	-
81	Install Shelving/Mirrors	10/17/2024	10/18/2024	2	-
82	Install Appliances	10/21/2024	10/22/2024	2	-
83	Install Garage Door	10/22/2024	10/22/2024	1	-
84	Final Trim Out	10/23/2024	10/23/2024	1	-
85	Final Paint	10/24/2024	10/25/2024	2	-
86	Key Alike All Entry Doors	10/28/2024	10/28/2024	1	-
87	Bathroom Finishes	10/29/2024	10/29/2024	1	-
88	Final Clean	10/30/2024	10/31/2024	2	-
89	Final Walkthrough	11/1/2024	11/1/2024	1	-
90	Bad Weather Days	11/4/2024	11/8/2024	5	-



#	Job Name	Start	Finish	Duration (Days)	% Completed
82	Install Appliances	10/21/2024	10/22/2024	2	-
83	Install Garage Door	10/22/2024	10/22/2024	1	-
84	Final Trim Out	10/23/2024	10/23/2024	1	-
85	Final Paint	10/24/2024	10/25/2024	2	-
86	Key Alike All Entry Doors	10/28/2024	10/28/2024	1	-
87	Bathroom Finishes	10/29/2024	10/29/2024	1	-
88	Final Clean	10/30/2024	10/31/2024	2	-
89	Final Walkthrough	11/1/2024	11/1/2024	1	-
90	Bad Weather Days	11/4/2024	11/8/2024	5	-
<i>Construcion Ends 11/8/2024</i>					
159 Days Total					



TOTAL

159 DAYS

**NAHB Student Competition
Secondary Programs
Honor Pledge**

To the best of my knowledge and belief, the information used in my team's solution to the competition is in accordance with the rules and guidelines of the NAHB Student Chapters Competition. On my honor, I have neither given nor received unauthorized assistance in the completion of this project.

Team (School) Name: York County school of technology

Team Members:

Print Name	Signature
Hayden Miller	<i>Hayden M</i>
Donovan Walker	<i>Donovan Walker</i>
Matthew Keller	<i>Matthew Keller</i>
Omari Sirmon	<i>Omari Sirmon</i>
Adelina Kholbus	<i>Adelina Kholbus</i>

Alternate Members (Optional):

Print Name	Signature
Georgie Ort	<i>Georgie Ort</i>

Faculty Advisor/Coach:

Print Name	Signature
Nicholas C. Sabold	<i>Nicholas C. Sabold</i>

This form is REQUIRED. Submit one (1) copy per team within your proposal submission.